

# ARCHITECTURAL DRAWING

## MULTI-FAMILY RESIDENTIAL BUILDING

1215 S. IROLO STREET  
LOS ANGELES, CA 90006

# OCTOBER, 31 2022

REV. 04.12.2023

REFERRAL FORMS: PAR-2020-6401-TOC

TRANSIT-ORIENTED COMMUNITIES - REFERRAL FORM  
LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCD/LA CRA, Building and Safety, or other City agency for project status and entitlement purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to filing an application for a case or building permit. Any modifications to the contents of this form after its authorization by the Department of City Planning staff is prohibited. The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the approval date, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

Relative To:  City Street Use Only

Planning Staff Name and Title: Eric Plancher - City Planner

Project Information - To be completed by applicant

1. PROJECT LOCATION/ZONING  
Project Address: 1215 South Irolo Street, Los Angeles CA 90006

2. TRANSPORTATION QUALIFIERS  
Qualifier #1 (rail name & stop, ferry terminal or bus #): Metro Route 28 (Union Tiers Rapid)

II. Project Information (if applicant is requesting additional incentives) - To be completed by applicant

3. DESCRIPTION OF PROPOSED PROJECT  
Dense multi-unit building with 11 units ground level parking under on the first floor. Utility TOC for 2 program and 3 additional incentives.

4. EXISTING USE  
A. Describe Existing Development: A bungalow style building built in 1907 and was part of the Electric Railway homestead.

Characteristic of existing use	Existing # of Units or Non-Residential SF	Existing # of Units or Non-Residential SF To Be Demolished	Proposed # of Units or Non-Residential SF
Dwelling Unit (DU), Commercial, Industrial, or Other			
Guest Rooms	0		
Studio	0		
One Bedroom	4	4	11
Two Bedrooms	0		
Three Bedrooms	0		
Bedrooms			
Non-Residential Square Feet	0		
Other:	0		

5. TYPE OF APPLICATION  
Transit-Oriented Communities (per TOC Guidelines) with Base Incentives filed in conjunction with another discretionary approval.

6. ENVIRONMENTAL REVIEW  
Environmental Review Not Required - Project is Ministerial. Please Explain:

7. HOUSING DEVELOPMENT PROJECT TYPE (please check all that apply):  
 For Sale  Moderate Income  Other (please describe):  
 For Rent  Market Rate  
 Extremely Low Income  Mixed Use  
 Very Low Income  Senior  
 Low Income  Chronically Homeless

8. DENSITY CALCULATION  
A. Base Density: Maximum density allowable per zoning  
Lot Size: 5,904.8 sq. ft. (a)  
Minimum area per dwelling unit: 825 sq. ft. (b) (of lot area per unit)  
Units allowed by right (per LAMC): 7 units (c) (c = a/b, round down to whole number)  
Base Density: 8 units (d) (d = a/b, round up to whole number)

B. Maximum Allowable Density Bonus: 13 units (e)  
in RD Zones d x 1.35 (Tiers 1 and 2), 1.4 (Tier 3) or 1.45 (Tier 4)

C. Proposed Project: Please indicate total number of Units requested as well as breakdown by levels of affordability set by each category (HCD or HUD). For information on HCD and HUD levels of affordability please contact the Housing and Community Investment Department of Los Angeles (HCD/LA) at (213) 808-8843 or hcdia@city.org.

	Total	HCD (State)	HUD (TCAG)
Market Rate	10	N/A	N/A
Extremely Low Income	1	N/A	N/A
Very Low Income	1	1	1
Low Income			
Moderate Income			
TOTAL # of Units Proposed	11	1	1
TOTAL # of Affordable Housing Units	1	1	1

9. SITE PLAN REVIEW CALCULATION  
Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

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Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

10. INCENTIVES  
A. Base Incentives (Please check all that apply)  
 (1) Floor Area Ratio:  
Tier 1: 40% or 2.75:1 in commercial zone  
Tier 2: 45% or 3.25:1 in commercial zone  
Tier 3: 50% or 3.75:1 in commercial zone  
Tier 4: 55% or 4.25:1 in commercial zone  
RD Zones or Specific Plans/Overlay Districts that Regulate FAR: 45%, unless Tier 1  
If Base FAR < 1.25:1: 2.75:1  
Greater Downtown Housing Incentive Area\*: 40%

Final Floor Area Ratio**	Required (per LAMC)	Proposed (per TOC)
Tier 1	40%	45%
Tier 2	45%	50%
Tier 3	50%	55%
Tier 4	55%	60%

(2) Parking Reductions Allowed  
Tier 1: 0.5 spaces per bedroom, 10% Reduction  
Tier 2: 1 space per unit, 20% Reduction  
Tier 3: 0.5 space per unit, 30% Reduction  
Tier 4: No parking requirements, 40% Reduction  
Total Affordable Housing: No parking requirements

B. Qualification for Additional Incentives: (Please check only one)  
Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Extremely Low Income	% Very Low Income	% Low Income
One	<input type="checkbox"/> 4%	<input type="checkbox"/> 5%	<input type="checkbox"/> 10%
Two	<input type="checkbox"/> 7%	<input type="checkbox"/> 10%	<input type="checkbox"/> 20%
Three	<input type="checkbox"/> 11%	<input type="checkbox"/> 15%	<input type="checkbox"/> 30%

C. Additional Incentives (Please check selected incentives as qualified according to Section 96)  
 (1) Yard/Setback (each yard counts as 1 incentive in Tiers 1 and 2; two yards count as 1 in Tiers 3 and 4)  
 RAS 3 Yards (only for commercial zones - please specify numbers below, but only check this box)  
 Front: 15'  
 Rear: 5'  
 Side (1): 5'  
 Side (2): 5'

	Side and Rear Yards
Tier 1	25%
Tier 2	30%
Tier 3	30% or depth of two yards
Tier 4	35% or depth of two yards

When Abutting R1 or More Restrictive Zones: No Reductions Allowed

(2) Lot Coverage:   
(3) Lot Width:   
(4) Height # of Stories:

	Height
Tier 1	11 feet for one story
Tier 2	11 feet for one story
Tier 3	22 feet for two stories
Tier 4	33 feet for three stories

Lots with Height Limits of 45 feet or less: Second and third additional stories must be stepped-back at least 15 feet from any frontage

Transitional Height (check one):  Per LAMC  Per TOC Guidelines\*\*  Not Applicable

(5) Open Space:   
(6) Density Calculation:   
(7) Averaging (all count as 1 incentive - mark as many as needed):  
FAR:   
Density:   
Parking:   
Open Space:   
Vehicular Access:   
(8) Public Facility Zone:

TOTAL # of Additional Incentives Requested: 3

11. COVENANT:  
All Transit-Oriented Communities projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing and Community Investment Department's Occupancy Monitoring Unit before a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCD/LA) at (213) 808-8843 or hcdia@city.org.

12. REPLACEMENT UNITS:  
AB 2222, as amended by AB 2556, requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: (Answer the following with "Yes" if any of these items apply to what is currently existing on the site or "No" if they do not. Write in N/A if the item is not applicable to your project)  
A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families lower or very low income?   
B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above?   
C. Units subject to the Rent Stabilization Ordinance not already listed above?   
D. Units that have been vacated or demolished in the last 5 years?   
E. Per AB 2556, are the number of replacement units and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? Yes

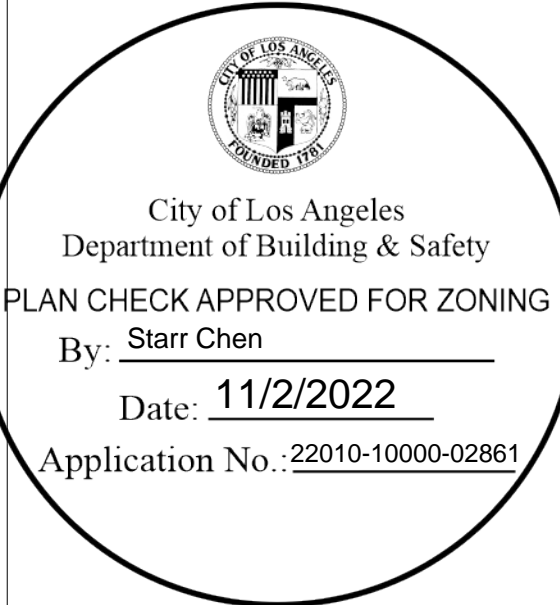
Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with Building and Safety.



**MULTI-FAMILY RESIDENTIAL BUILDING**  
**1215 S. IROLO STREET**  
**LOS ANGELES, CA 90006**

1. THREE (3) T.O.C. BASE INCENTIVES
  - 1.1 FAR BONUS 2.93:1 (PERCENTAGE INCREASE UP TO 45%)
  - 1.2 DENSITY BONUS 12 UNITS (INCREASE IN NUMBER OF DWELLING UNITS UP TO 60%)
  - 1.3 PARKING 6 SPACES (0.5 SPACES PER BEDROOM)
2. THREE (3) T.O.C. ADDITIONAL INCENTIVES (ADHERING TO LABOR STANDARDS)
  - 2.1 FRONT YARD AT 9'-7.5" (AVG. ADJOINING BUILDINGS ARE 9'-8")
  - 2.2 SIDE YARD LEFT 5'-3" (21% REDUCTION)
  - 2.3 SIDE YARD RIGHT 5'-3" (21% REDUCTION)
3. TWO (2) ZONING RELIEF, STANDARD WAIVER
  - 3.1 LOT WIDTH REDUCTION TO 46'-0" (8% REDUCTION)
  - 3.2 ADDITIONAL 11'-0" OF HEIGHT FOR A TOTAL OF 56'-0" (24.4% ADDITIONAL)

NOTES



**A. PROJECT DATA**

1. SCOPE OF WORK	(N) GROUND UP 12- UNITS APARTMENT	REQUIRED	INCENTIVES	PROPOSED																																																
2. PROJECT ADDRESS	1215 S IROLO STREET LOS ANGELES, CA 90006	9. TREE REQUIRED & PROPOSED	3 INCL. 1 EXISTING PARKWAY TREE	4 INCL. 1 EXISTING PARKWAY TREE																																																
3. APN	5080-035-004	10. LOT WIDTH REDUCTION		8 % REDUCTION																																																
4. LEGAL DESCRIPTION	TRACT : ELECTRIC RAILWAY HOMESTEAD ASSOCIATION MAP REF : MR 14-27/28 BLOCK 43, LOT 4 ARB NONE	11. MAX FAR & PROPOSED	MAX. 3:1	2.96 : 1																																																
5. LOT AREA	5,904 SF	12. MAX HEIGHT	45'-00"	TOC Tier 1 and 2, Additional up to 11'-00																																																
6. CURRENT ZONE	R3-1	13. DENSITY	800 SF Per Unit	500 SF Per Guest Room																																																
7. PROPOSED ZONE	R3-1	14. YARD																																																		
8. MAX UNIT ALLOWED PROPOSED NUMBER OF UNIT	Max. 13 Proposed 12	A. FRONT	15'-00"	Average Surrounding Building 9'-8"																																																
		B. SIDE LEFT & RIGHT	6'-5"	21 % REDUCTION																																																
		C. REAR	15'-00"	-																																																
15. HOUSING DEVELOPMENT PROJECT TYPE	PROJECT TYPE: EXTREMELY LOW INCOME, MARKET RATE TOTAL # OF UNIT PROPOSED: 12 TOTAL # OF AFFORDABLE HOUSING UNIT: 3	<p><b>C. Proposed Project:</b> Please indicate total number of Units requested as well as breakdown by levels of affordability set by each category (HCD or HUD). For information on HCD and HUD levels of affordability please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org.<sup>6</sup></p> <table border="1"> <thead> <tr> <th></th> <th>Total</th> <th>HCD (State)</th> <th>HUD (TCAC)</th> </tr> </thead> <tbody> <tr> <td>Market Rate</td> <td>10</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Managers Unit(s) - Market Rate</td> <td></td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Extremely Low Income</td> <td>1</td> <td>1</td> <td></td> </tr> <tr> <td>Very Low Income</td> <td>1</td> <td></td> <td></td> </tr> <tr> <td>Low Income</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Moderate Income</td> <td></td> <td></td> <td></td> </tr> <tr> <td>TOTAL # of Units Proposed</td> <td>12 (f)</td> <td></td> <td></td> </tr> <tr> <td>TOTAL # of Affordable Housing Units</td> <td>2 (g)</td> <td></td> <td></td> </tr> <tr> <td>Number of Density Increase Units</td> <td>5 (h) [If f&gt;c, then h=f-c; if f&lt;c, then h=0]</td> <td></td> <td></td> </tr> <tr> <td>Percent Density Increase Requested</td> <td>50% (i) [i = 100 x (f/d - 1)]</td> <td></td> <td></td> </tr> <tr> <td>Percent of Affordable Set Aside</td> <td>25% (j) [j/g, round down to a whole number]</td> <td></td> <td></td> </tr> </tbody> </table>				Total	HCD (State)	HUD (TCAC)	Market Rate	10	N/A	N/A	Managers Unit(s) - Market Rate		N/A	N/A	Extremely Low Income	1	1		Very Low Income	1			Low Income				Moderate Income				TOTAL # of Units Proposed	12 (f)			TOTAL # of Affordable Housing Units	2 (g)			Number of Density Increase Units	5 (h) [If f>c, then h=f-c; if f<c, then h=0]			Percent Density Increase Requested	50% (i) [i = 100 x (f/d - 1)]			Percent of Affordable Set Aside	25% (j) [j/g, round down to a whole number]		
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16. NUMBER OF EXISTING RESIDENTIAL DWELLING UNITS AND PROTECTED UNITS WITHIN TEN (10) YEARS OF OWNER'S APPLICATION :	4	19. NUMBER OF AFFORDABLE REPLACEMENT UNITS REQUIRED PER CHAS :																																																		
17. NUMBER OF PROTECTED UNITS ELLISED WITHIN THE LAST (10 YEARS)	0	<table border="1"> <tr> <td>3 UNITS X 64%</td> <td>2 UNITS</td> <td rowspan="5" style="text-align: center; vertical-align: middle;">2</td> </tr> <tr> <td>28% EXTREMELY LOW</td> <td>1 UNITS</td> </tr> <tr> <td>18% VERY LOW</td> <td>1 UNITS</td> </tr> <tr> <td>18% LOW</td> <td>0 UNITS</td> </tr> <tr> <td>MARKET RATE RSO UNITS</td> <td>1 UNITS</td> </tr> </table>			3 UNITS X 64%	2 UNITS	2	28% EXTREMELY LOW	1 UNITS	18% VERY LOW	1 UNITS	18% LOW	0 UNITS	MARKET RATE RSO UNITS	1 UNITS																																					
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18. NUMBER OF UNIT(S) PRESUMED TO BE ABOVE-LOWER INCOME SUBJECT TO REPLACEMENT	1																																																			

REVISION

NO. DATE SUBJECT

IROLO RESIDENCE

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

DRAWN BY: TP/DA/BAW DATE: 10/19/2022

CHECKED BY: TP/AH

PROJECT NO.

DRAWING NO.

**TS**

### 16. OPEN SPACE REQUIRED & PROPOSED

A. TWO HABITABLE ROOM PROPOSED 100 SF PER UNIT (12)  
12 UNIT X 100 SF, TOTAL REQUIRED : 1,200 SF

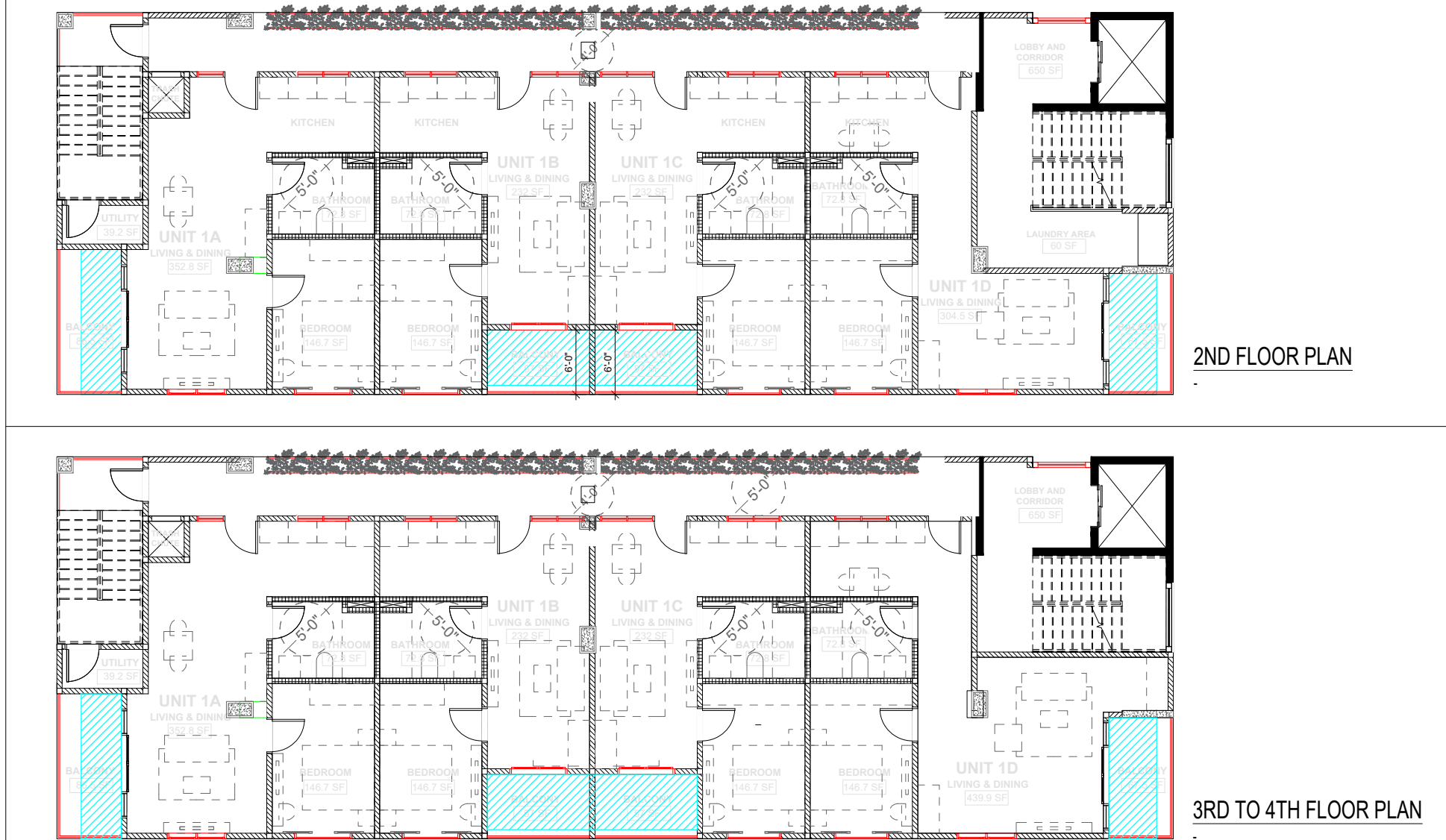
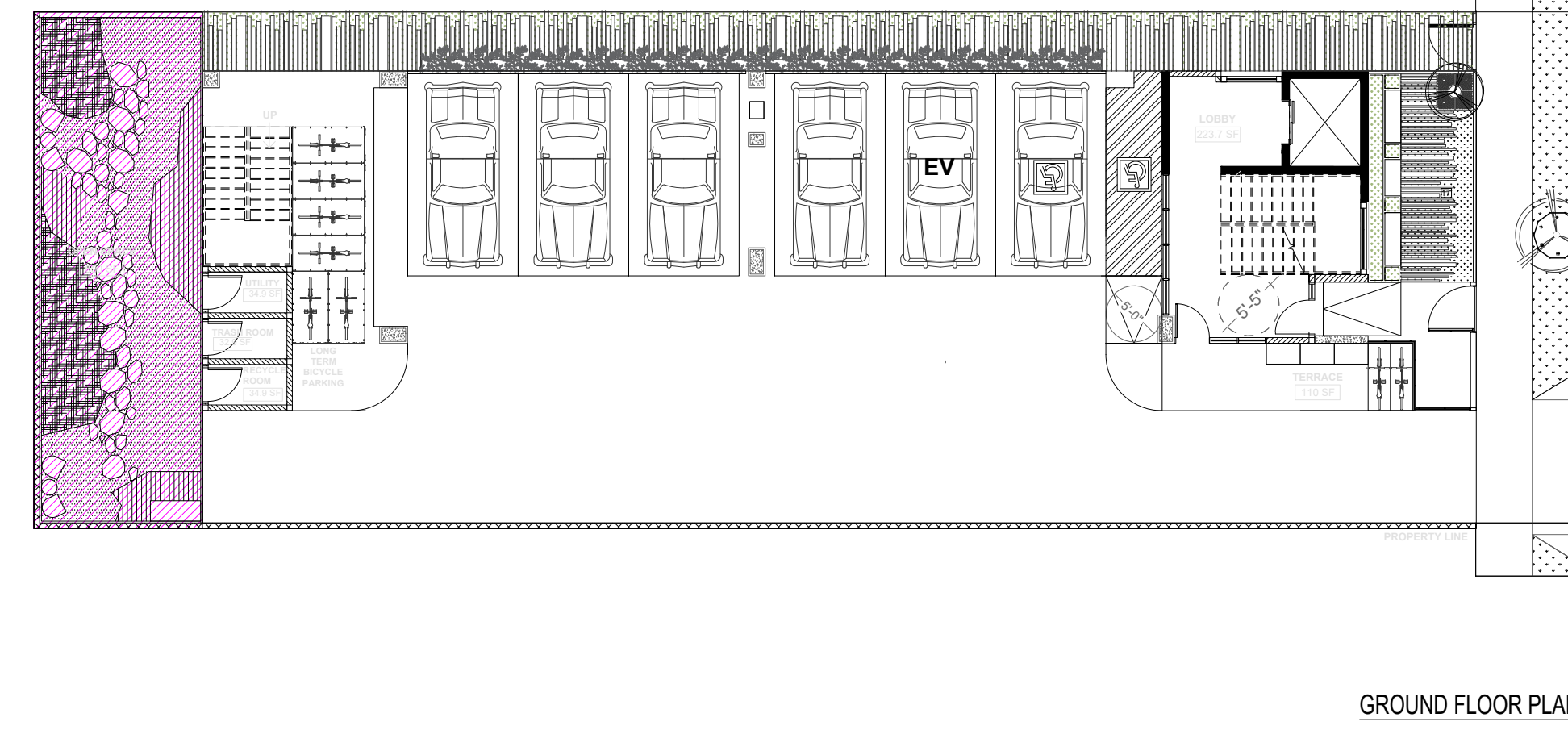
B. PRIVATE OPEN SPACE REQUIREMENT  
50 SF MIN PER UNIT X 12 UNITS = 600 SF REQD

SHARED AT GROUND FLOOR : 690 SF  
PRIVATE AT BALCONY : 600 SF

TOTAL : 1,290 SF

PRIVATE BALCONY  
 OPEN SPACE

### KEYPLAN OPEN SPACE



### B. PARKING ANALYSIS

PARKING	REQUIRED	PROPOSED
1. CAR PARKING	0.5 SPACE per BEDROOMS	0.5 SPACE x 12 UNITS = 6 SPACES 6 PARKING SPACES
2. BIKE PARKING	LONG TERM = 11 STALLS	LONG TERM = 12 STALLS (6 x 2-TIER BIKE LOCKER)
	SHORT TERM = 2 STALLS	SHORT TERM = 2 STALLS

### C. STRUCTURE & MEP

TYPE OF CONSTRUCTION	TYPE 1 A CONCRETE PODIUM (1 LEVEL ABOVE GRADE ) & TYPE 5A ABOVE
OCCUPANCIES	R-2. S-2
FIRE SPRINKLER	NFPA 13
NO. OF STORY	4
SOLAR PHOTOVOLTAIC REQUIRED	**FLOOR AREA MORE THAN 4,500 SQ.FT REQUIRED PERFORMANCE BASED CALCULATION
SOLAR PHOTOVOLTAIC PROPOSED	1,126.6 SQ. FT.

### D. FLOOR CALCULATION

	Residential Area	Corridor/ Lobby	Trash Area	Recycling Area	Terrace Area	Balcony	Open Space	Core/Stairs mech.well	Parking Area	TOTAL (Gross Floor Area)
4TH	2,463.6	473.4	-	-	-	265.3	-	191.3		3,403.8
3RD	2,463.6	473.4	-	-	-	265.3	-	191.3		3,403.8
2ND	2,368.2	561	-	-	-	265.3	-	191.3		3,403.8
GF	-	273	34.9	34.9	109.7	-	690	191.3	2,974.5	4,198.6
TOTAL	7,104.6	1,956		179.5		1,485.9		765.2	2,974.5	14,356
F.A.R	10,726 SF (2.96:1)									

BUILDABLE AREA = 3,621 SF

F.A.R STANDARD REQUIREMENT (3:1)  
3,621 SF X 3 = 10,863 SF (max)

### E. CONSULTANTS

#### DESIGNER



TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

#### ENGINEERS



Aren Azizian  
Duane Tran, P.E.  
(818) 669-3273  
10347 Kurt St  
Sylmar, CA 91342  
http://tastructural.com

#### MECHANICAL ENGINEER

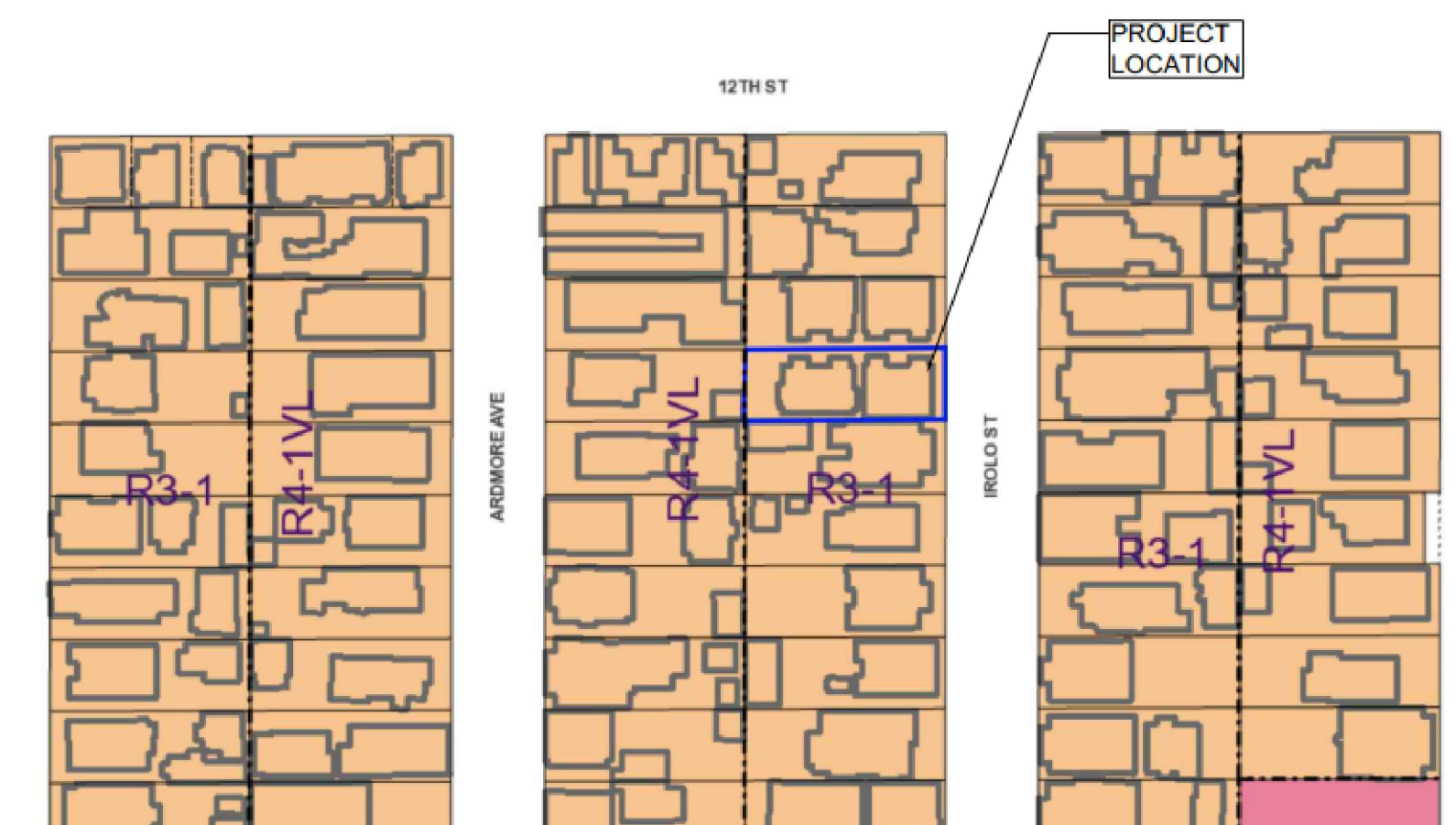
#### ELECTRICAL ENGINEER

#### PLUMBING ENGINEER

### F. DRAWING INDEX

SHEET NO.	DESCRIPTION	REVISION
	ARCHITECTURAL	
TS	TITLE SHEET	
A-0.01	BUILDING FOOT PRINT	
A-1.01	SITE PLAN	
A-1.02	GROUND FLOOR PLAN	
A-1.03	2ND FLOOR PLAN 2ND TO 4TH FLOOR PLAN, ROOF PLAN	
A-1.04	ROOF PLAN	
A-1.05	LANDSCAPE TABLE	
A-1.06	TREE PROTECTION DETAIL	
A-2.01	SOUTH ELEVATION	
A-2.02	NORTH ELEVATION	
A-2.03	WEST ELEVATION, EAST ELEVATION	
A-3.01	SECTION A	
A-3.02	SECTION B	
A-3.03	SECTION C, SECTION D	
A-4.01	VEWS	
A-4.01	VEWS	
A-5.01	F.A.R DIAGRAM	
A-5.02	OPEN SPACE DIAGRAM	

### VICINITY MAP



NOTES



REVISION

NO.	DATE	SUBJECT

IROLO RESIDENCE

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1215 S IROLO STREET,  
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CLIENT

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LOS ANGELES CA 90006

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DRAWN BY: TP/DA/BAW DATE: 10/19/2022

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KEYNOTES (THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 PROPERTY LINE
- 2 PERIMETER FENCE WALL
- 3 DRIVE WAY
- 4 EXISTING TREE
- 5 TREE PROTECTION
- 6 PEDESTRIAN WALK
- 7 EXISTING BUILDING
- 8 MAIN ENTRANCE
- 9 MAIL BOX
- 10 BACK ENTRANCE
- 11 GATE
- 12 PLANTER BOX
- 13 TREE GRATE
- 14 BUILT-IN BENCH
- 15 TABLE
- 16 FLEXIBLE CHAIR LOUNGE
- 17 BENCH
- 18 SHORT-TERM BIKE PARKING
- 19 LONG-TERM BIKE PARKING (2-TIER BIKE LOCKER)
- 20 TENANT PARKING SPACE
- 21 STANDARD PARKING
- 22 VAN ACCESSIBLE PARKING
- 23 ADA PARKING
- 24 EV PARKING
- 25 EV CHARGER
- 26 FUTURE EV CHARGER
- 27 CURB
- 28 HOLLOW STEEL

LEGEND (THESE NOTES PERTAIN TO THIS SHEET ONLY)

- EXTERIOR WALL
- INTERIOR WALL
- CONCRETE RETAINING WALL
- DOOR
- WINDOW
- ELEVATION MARKER
- WINDOW TYPE
- DOOR TYPE

**TERRA LUMEN**  
 TERRA LUMEN COASTAL INC.  
 5209 WILSHIRE BLVD.  
 LOS ANGELES, CA 90036

NOTES

City of Los Angeles  
 Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
 By: Starr Chen  
 Date: 11/2/2022  
 Application No.: 22010-10000-02861

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**GROUND FLOOR PLAN**

DRAWN BY  
 TP/DA/BAW

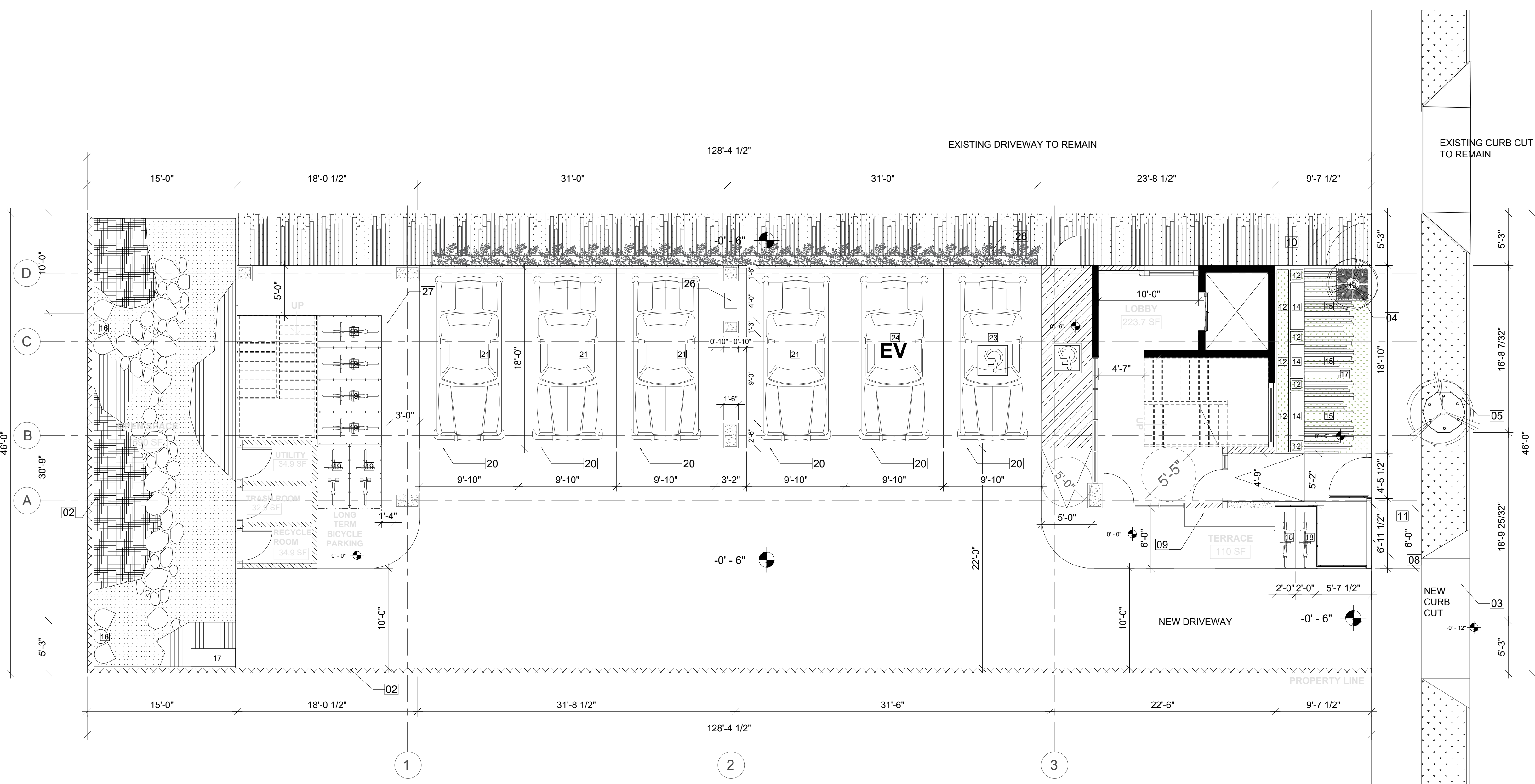
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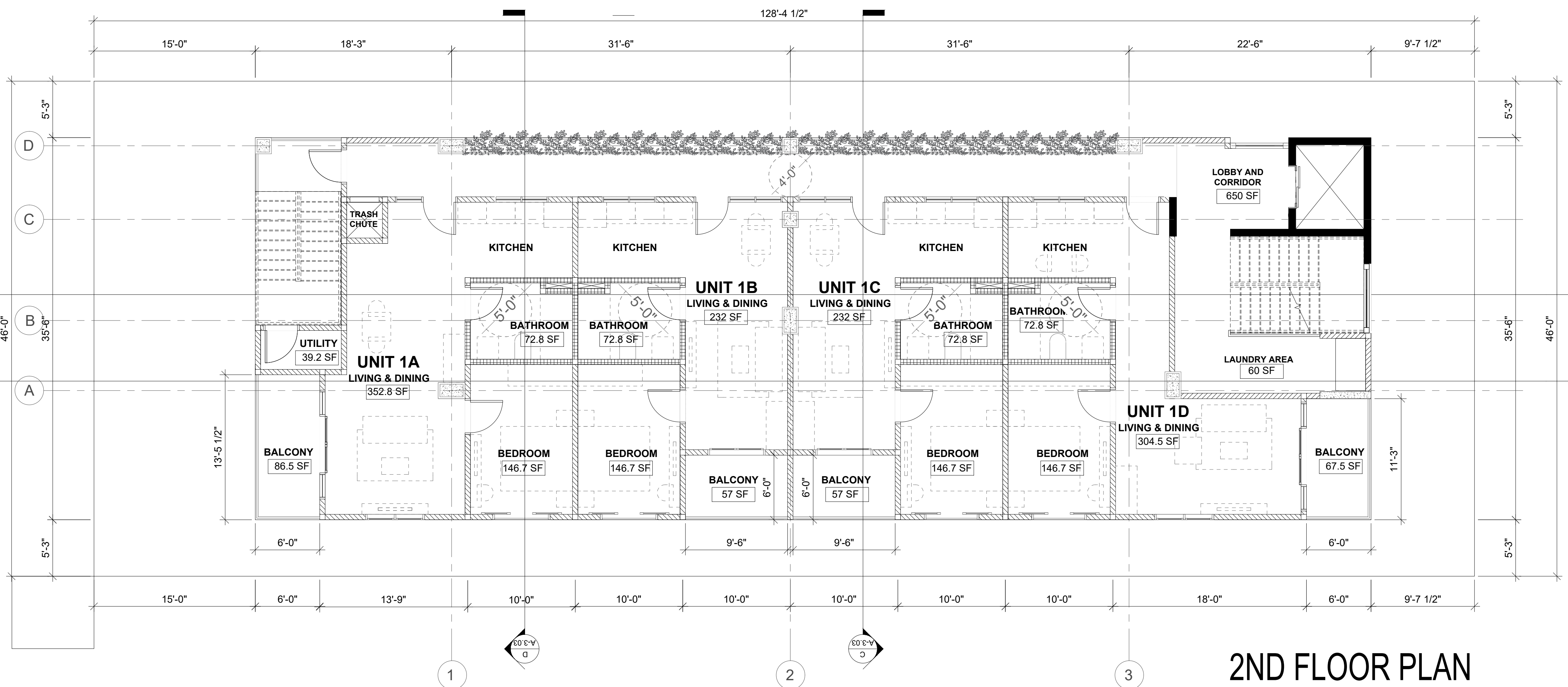
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**A-1.02**

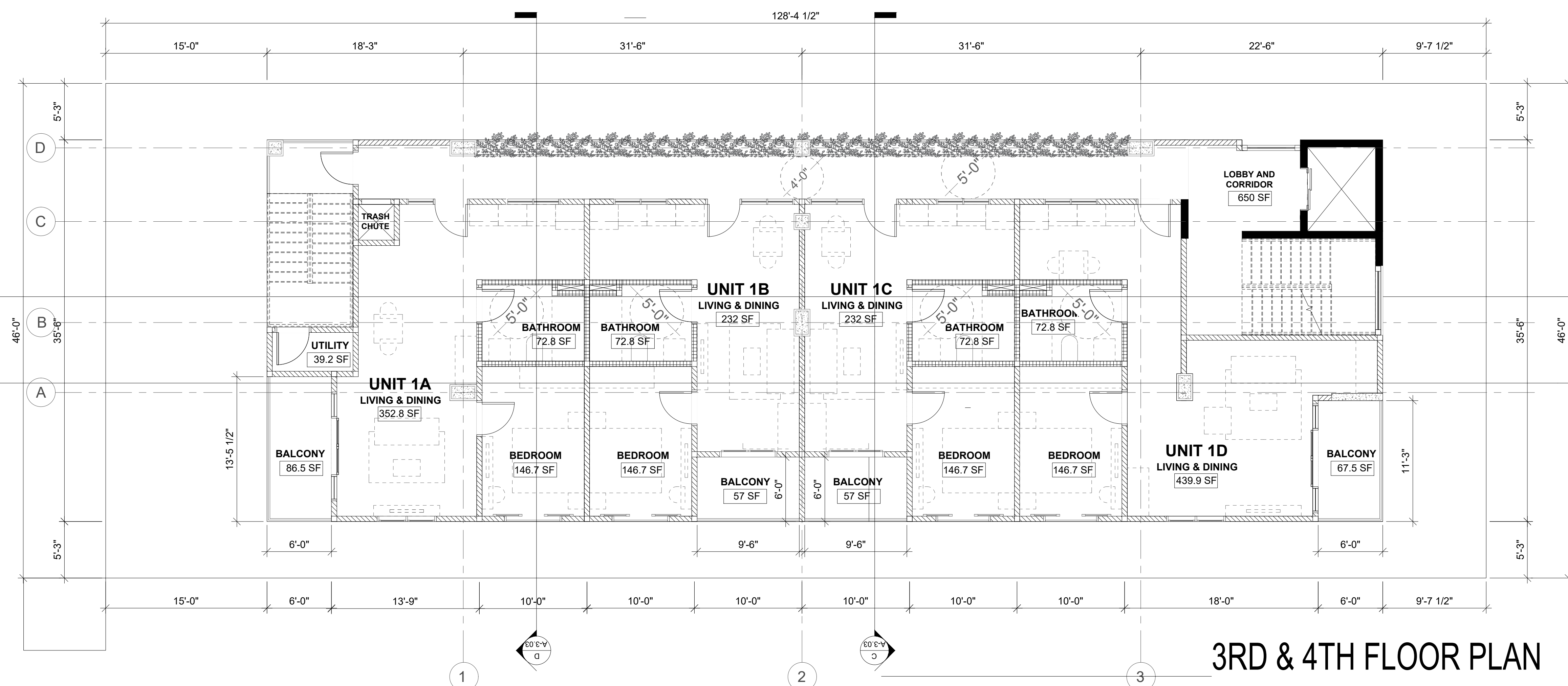


**GROUND FLOOR PLAN**



2ND FLOOR PLAN

SCALE : 3/16" = 1'-0"



3RD & 4TH FLOOR PLAN

SCALE : 3/16" = 1'-0"

**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 PROPERTY LINE
- 2 PERIMETER FENCE WALL
- 3 KITCHEN COUNTER & CABINET
- 4 LAVATORY COUNTER & WASH BASIN
- 5 WATER CLOSET
- 6 SHOWER
- 7 PLUMBING SHAFT
- 8 GLASS SLIDING DOOR
- 9 HAND RAILING
- 10 CLOSET
- 13 OPEN SPACE

**TOTAL**

UNIT 1A, 2A, 3A	
Living and Dining	352.8 SF
Bedroom	146.7 SF
Bathroom	72.8 SF
Balcony	86.5 SF
<b>Total</b>	<b>658.8 SF</b>

UNIT 1B, 2B, 3B	
Living and Dining	232 SF
Bedroom	146.7 SF
Bathroom	72.8 SF
Balcony	57 SF
<b>Total</b>	<b>508.5 SF</b>

UNIT 1C, 2C, 3C	
Living and Dining	232 SF
Bedroom	146.7 SF
Bathroom	72.8 SF
Balcony	67.5 SF
<b>Total</b>	<b>508.5 SF</b>

UNIT 1D	
Living and Dining	304.5 SF
Bedroom	146.7 SF
Bathroom	72.8 SF
Balcony	68.7 SF
<b>Total</b>	<b>592.7 SF</b>

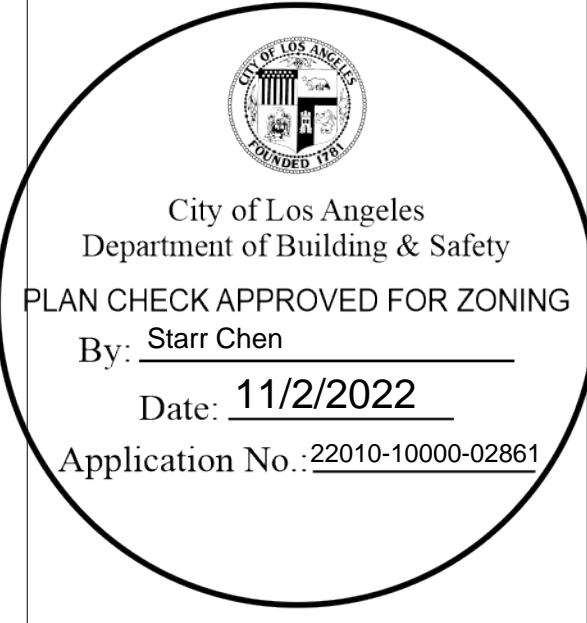
UNIT 2D, 3D	
Living and Dining	439.9 SF
Bedroom	146.7 SF
Bathroom	72.8 SF
Balcony	68.7 SF
<b>Total</b>	<b>728.1 SF</b>

**LEGEND**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- EXTERIOR WALL
- INTERIOR WALL
- CONCRETE RETAINING WALL
- COLUMN
- DOOR
- WINDOW
- ELEVATION MARKER
- WINDOW TYPE
- DOOR TYPE

**NOTES**



**REVISION**

NO.	DATE	SUBJECT

**IROLO RESIDENCE**

**PROJECT ADDRESS**

1215 S IROLO STREET,  
LOS ANGELES CA 90006

**CLIENT**

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

**DRAWING TITLE**

**2ND FLOOR PLAN  
3RD TO 4TH FLOOR PLAN**

**DRAWN BY**

TP/DA/BAW

**CHECKED BY**

TP/AH

**PROJECT NO.**

**DRAWING NO.**

**A-1.03**

NOTES

City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Starr Chen  
Date: 11/2/2022  
Application No.: 22010-10000-02861

REVISION

NO.	DATE	SUBJECT

IROLO RESIDENCE

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

ROOF FLOOR

DRAWN BY: TP/DA/BAW DATE: 10/10/2022

CHECKED BY: TP/AH

PROJECT NO.

DRAWING NO.

A-1.04

KEYNOTES

(THESE NOTES PERTAIN TO THIS SHEET ONLY.)

- 1 PROPERTY LINE
- 2 PERIMETER FENCE WALL
- 3 KITCHEN COUNTER & CABINET
- 4 LAVATORY COUNTER & WASH BASIN
- 5 WATER CLOSET
- 6 SHOWER
- 7 PLUMBING SHAFT
- 8 GLASS SLIDING DOOR
- 9 HAND RAILING
- 10 CLOSET
- 13 OPEN SPACE

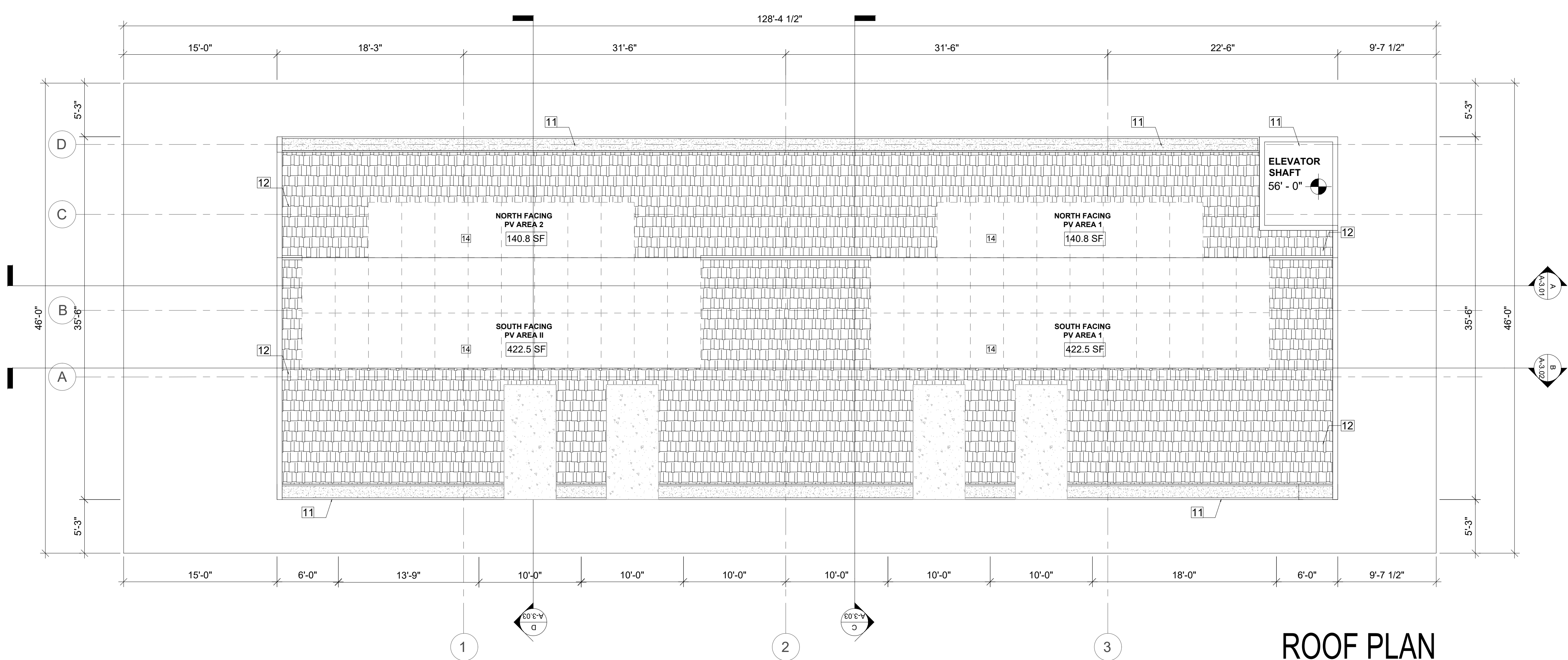
ROOF PLAN

North-facing Roof Area	1,022 SF
North-facing PV Area	281.6 SF
South-facing Roof Area	2,294 SF
South-facing PV Area	845 SF

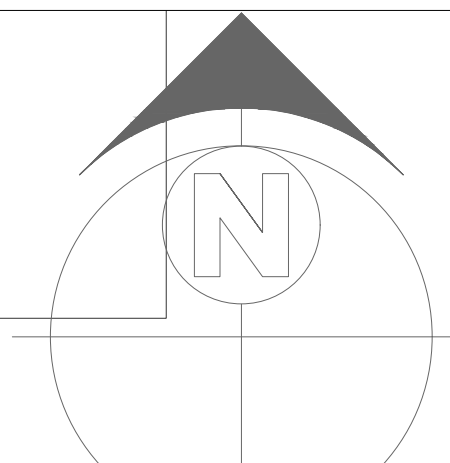
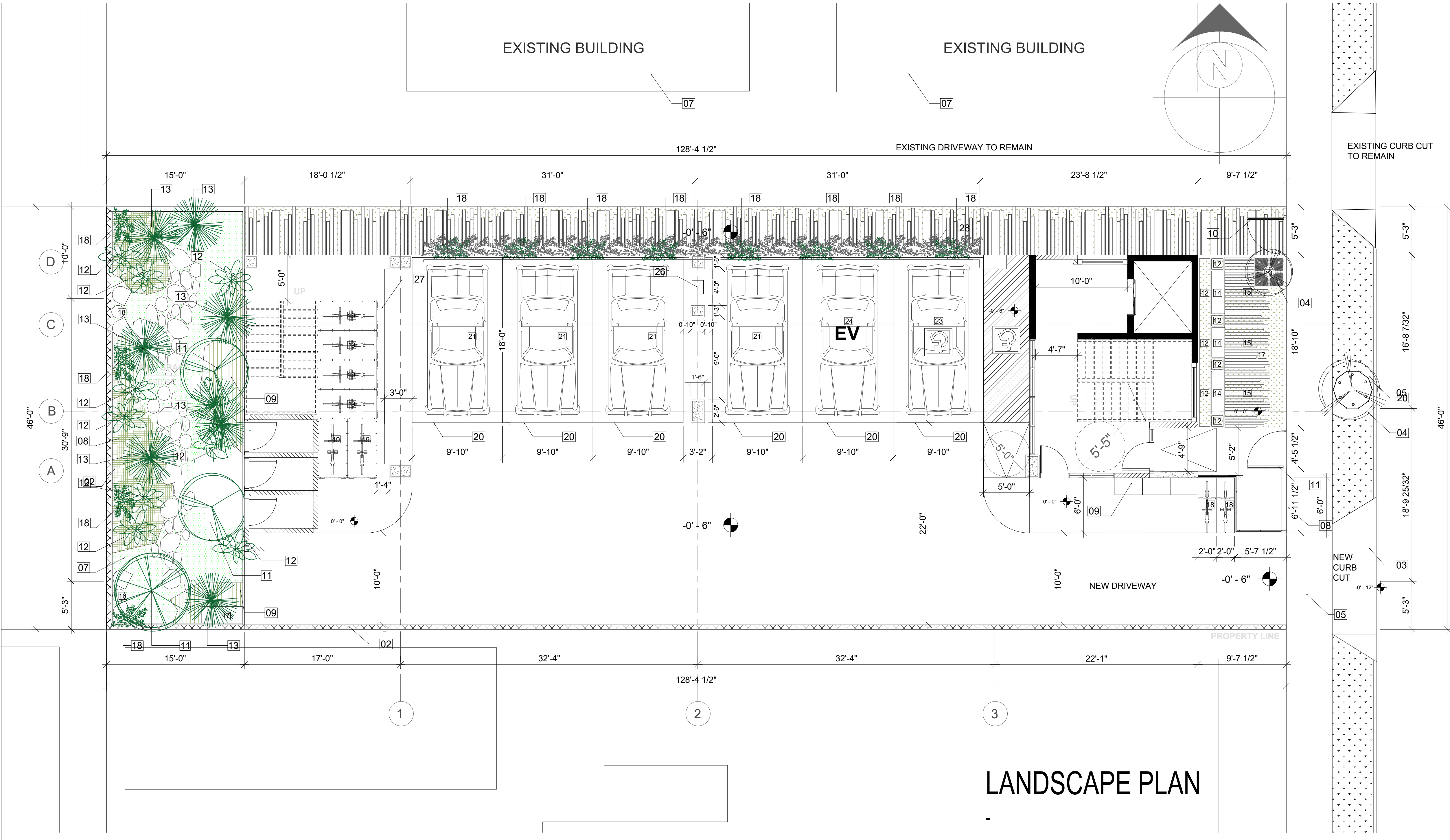
LEGEND

(THESE NOTES PERTAIN TO THIS SHEET ONLY.)

- EXTERIOR WALL
- INTERIOR WALL
- CONCRETE RETAINING WALL
- COLUMN
- DOOR
- WINDOW
- ELEVATION MARKER
- WINDOW TYPE
- DOOR TYPE



ROOF PLAN



- ### KEYNOTES
- (THESE NOTES PERTAIN TO THIS SHEET ONLY)
- 1 PROPERTY LINE
  - 2 PERIMETER FENCE WALL
  - 3 DRIVE WAY
  - 4 EXISTING TREE
  - 5 PEDESTRIAN WALK
  - 6 DECORATIVE CONCRETE PAD
  - 7 MULCH BED
  - 8 GCO,GAT,PAF,PPS,PSC,GMR
  - 9 GKU,PMC,PPS,GMR
  - 10 PRE
  - 11 TCO
  - 12 SAA
  - 13 SCO
  - 14 EXISTING SIDEWALK
  - 15 FRONT YARD PLANTER BOX (30" HIGH) plabed with PRE (perennial)
  - 16 STEPPING STONE
  - 17 PERMEABLE CONCRETE PAVER planted with GTP (groundcover)
  - 18 VMM planted max. every 50ft along fence/wall
  - 19 TREE PROTECTION

NOTES

City of Los Angeles  
Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
By: Starr Chen  
Date: 11/2/2022  
Application No. : 22010-10000-02861

REVISION		
NO.	DATE	SUBJECT

## LANDSCAPE PLAN

**GROUND FLOOR TREE & PLANTING LEGEND**

TREE LEGEND				
SYMBOL	QTY.	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS
⊗	1	24" BOX	<i>Cercis occidentalis</i> (Western Redbud)	Existing tree
⊗	4	24" BOX	<i>Cercis occidentalis</i> (Western Redbud)	

PLANTING LEGEND				
SYMBOL	QTY.	SIZE	BOTANICAL NAME/ COMMON NAME	REMARKS
✿	17	5 GAL.	<i>Agave attenuate</i> (Agave)	
🌿	9	5 GAL.	<i>Ceanothus concha</i> (Ceanothus)	
🌿	12	1 GAL.	<i>Mascagnia macroptera</i> (Yellow Orchid Vine);	
🌿	55	1 GAL.	<i>Achillea tomentosa</i> (Woolly Pink);	
🌿	55	1 GAL.	<i>Calendula officinalis</i> (Calendula);	
🌿	55	1 GAL.	<i>Asclepias fascicularis</i> (Narrowleaf Milkweed);	
🌿	15	1 GAL.	<i>Penstemon spectabilis</i> (Showy Penstemon);	
🌿	11	1 GAL.	<i>Salvia clevelandii</i> "Winifred Gilman" (Sage);	
🌿	22	1 GAL.	<i>Kniphofia uvaria</i> (Red Hot Poker);	
🌿	20	1 GAL.	<i>Mimulus cardinalis</i> (Scarlet Monkeyflower);	
🌿	15	1 GAL.	<i>Penstemon spectabilis</i> (Showy Penstemon);	
🌿	12	3 GAL.	<i>Muhlenbergia rigens</i> (Deergrass);	
🌿	144	1 GAL.	<i>Thymus pseudolanuginosus</i> (Woolly Thyme);	

- NOTES:
- Drought Tolerant Plants for Los Angeles Basin & San Fernandi Valley (Zone 3 per Los Angeles County Handbook)
  - No Irrigation System Needed
  - All Water Use: Low
  - All Plant Factor: 2
- TREES  
TCO - *Cercis occidentalis* (Western Redbud); 24" BOX;  
QTY TOTAL 5 (4 NEW, 1 EXISTING PARKWAY)
- SHRUB  
SAA - *Agave attenuate* (Agave); 5 GAL.  
SCO - *Ceanothus concha* (Ceanothus); 5 GAL.
- PERENNIAL  
PAF - *Asclepias fascicularis* (Narrowleaf Milkweed); 1 GAL. ; QTY.55  
PMC - *Mimulus cardinalis* (Scarlet Monkeyflower); 1 GAL. ; QTY.20  
PPS - *Penstemon spectabilis* (Showy Penstemon); 1GAL. ; QTY.15  
PRE - *Russelia equisetiformis* (Coral Fountain); 1GAL.; QTY.30  
PSC - *Salvia clevelandii* "Winifred Gilman" (Sage); 1 GAL.; QTY.55
- VINES  
VMM - *Mascagnia macroptera* (Yellow Orchid Vine); 1GAL.; QTY.12
- GROUNDCOVER  
GAT - *Achillea tomentosa* (Woolly Pink); 1 GAL. 2' o.c.; QTY. 55  
GCO - *Calendula officinalis* (Calendula); 1 GAL. 2' o.c.; QTY. 55  
GKU - *Kniphofia uvaria* (Red Hot Poker); 1 GAL. 2' o.c.; QTY. 20  
GTP - *Thymus pseudolanuginosus* (Woolly Thyme); 1' o.c.; QTY. 144
- GRASS  
GMR - *Muhlenbergia rigens* (Deergrass); 3 GAL. 3' o.c.; QTY.12

### IROLO RESIDENCE

PROJECT ADDRESS  
  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT  
  
JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

### LANDSCAPE PLAN


DRAWN BY  
TP/DABAW

CHECKED BY  
TP/AH

PROJECT NO.  
  
DRAWING NO.



NOTES



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
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Date: 11/2/2022  
Application No.: 22010-10000-02861

REVISION

NO.	DATE	SUBJECT

**IROLO RESIDENCE**

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**TREE PROTECTION  
DETAIL**

DRAWN BY  
TP/DAB/BAW

DATE  
10/10/2022

CHECKED BY  
TP/AH

PROJECT NO.

DRAWING NO.

**A-1.06**

**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 PROPERTY LINE
- 2 PERIMETER FENCE WALL
- 3 DRIVE WAY
- 4 EXISTING TREE
- 5 PEDESTRIAN WALK
- 6 DECORATIVE CONCRETE PAD
- 7 MULCH BED
- 8 GCO,GAT,PAF,PPS,PSC,GMR
- 9 GKU,PMC,PPS,GMR
- 10 PRE
- 11 TCO
- 12 SAA
- 13 SCO
- 14 GCP
- 15 ROOFTOP PLANTER BOX (30" HIGH)
- 16 Roof decks in developments built at an R3 or an RAS3 density, regardless of the underlying zone, may be used as common open space, excluding that portion of the roof within ten feet from the parapet wall. (Amended by Ord. No. 174,999, Eff. 1/15/03.)

NOTES:

Drought Tolerant Plants for Los Angeles Basin & San Fernando Valley (Zone 3 per Los Angeles County Handbook)  
No Irrigation System Needed  
All Water Use: Low  
All Plant Factor: 2

**TREES**  
TCO - Cercis occidentalis (Western Redbud); 24" BOX;  
QTY TOTAL 5 (4 NEW, 1 EXISTING PARKWAY)

**SHRUB**  
SAA - Agave attenuate (Agave); 5 GAL.  
SCO - Ceanothus concha (Ceanothus); 5 GAL.

**PERENNIAL**  
PAF - Asclepias fascicularis (Narrowleaf Milkweed); 1 GAL. ; QTY. 55  
PMC - Mimulus cardinalis (Scarlet Monkeyflower); 1 GAL. ; QTY. 20  
PPS - Penstemon spectabilis (Showy Penstemon); 1GAL. ; QTY. 15  
PRE - Russelia equisetiformis (Coral Fountain); 1GAL. ; QTY. 30  
PSC - Salvia clevelandii 'Winifred Gilman' (Sage); 1 GAL. ; QTY. 55

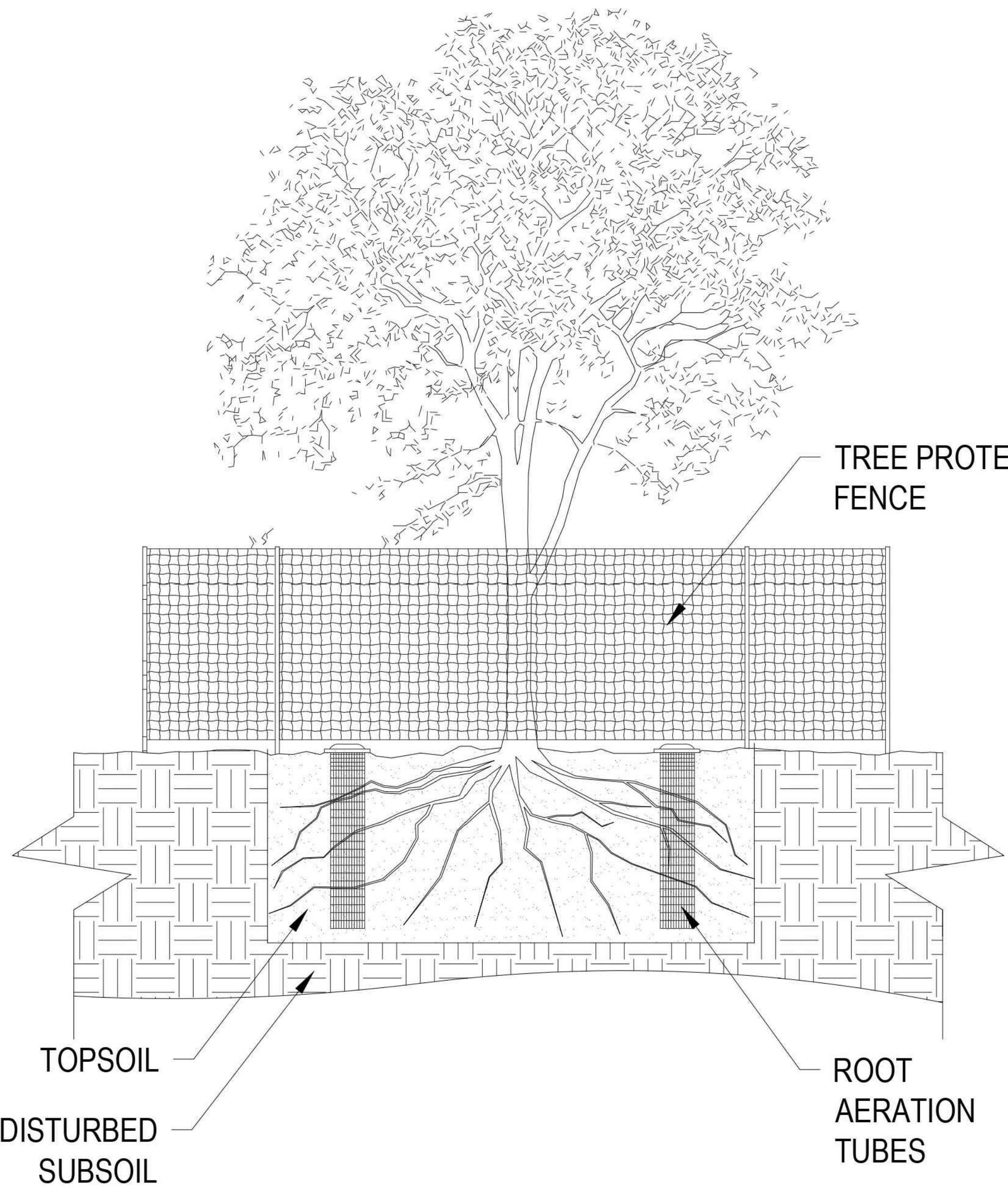
**VINES**  
VMM - Maccagnia macroptera (Yellow Orchid Vine); 1GAL. ; QTY. 12

**GROUNDCOVER**  
GAT - Achillea tomentosa (Woolly Pink); 1 GAL. 2' o.c.; QTY. 55  
GCO - Calendula officinalis (Calendula); 1 GAL. 2' o.c.; QTY. 55  
GKU - Kniphofia uvaria (Red Hot Poker); 1 GAL. 2' o.c.; QTY. 20  
GTP - Thymus pseudolanuginosus (Woolly Thyme); 1' o.c.; QTY. 144

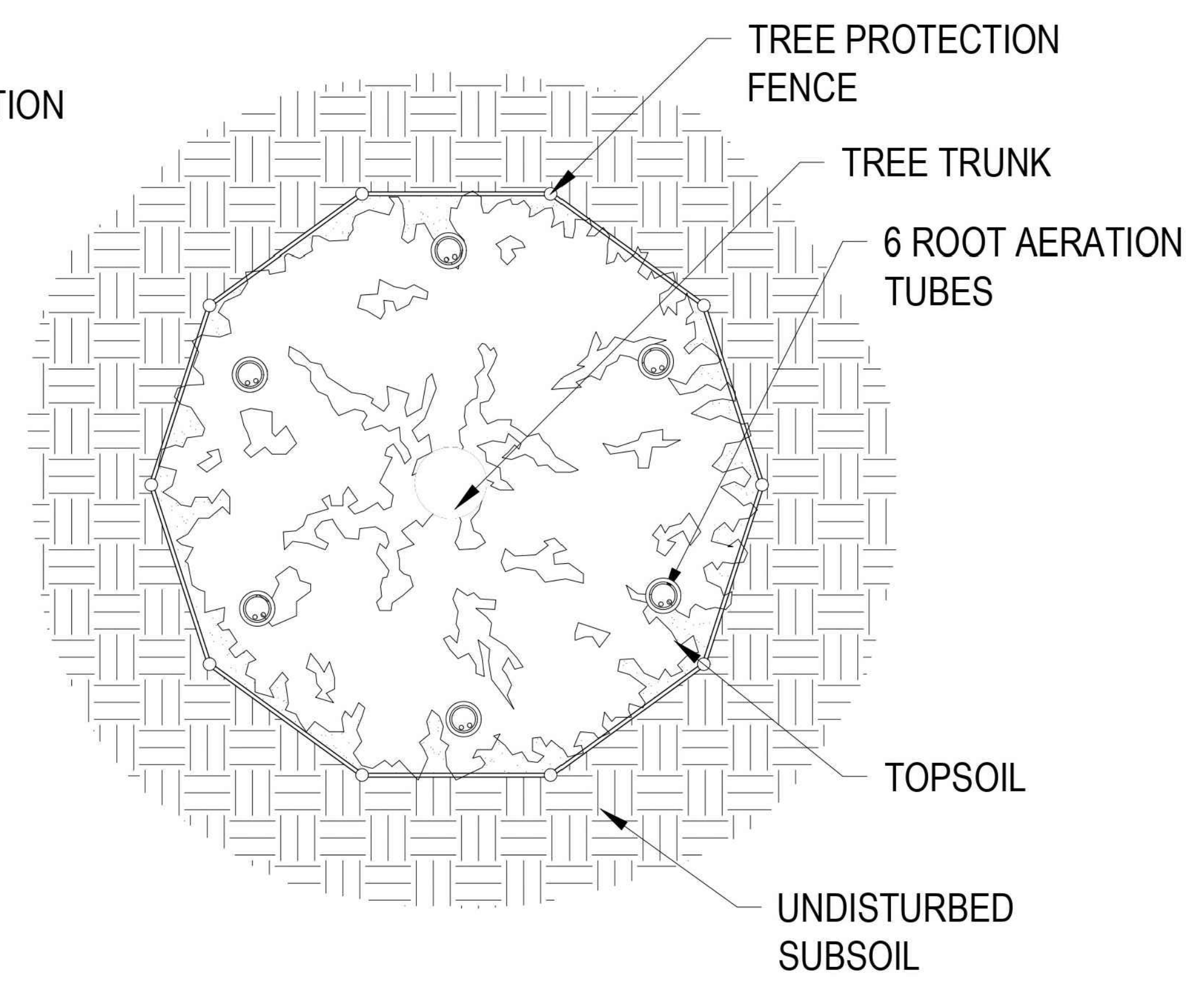
**GRASS**  
GMR - Muhlenbergia rigens (Deergrass); 3 GAL. 3' o.c.; QTY. 12  
GCP - Carex pansa

CALIPER	QUANTITY
2"	4
3"	4
4"	6
5"	7
6"	8

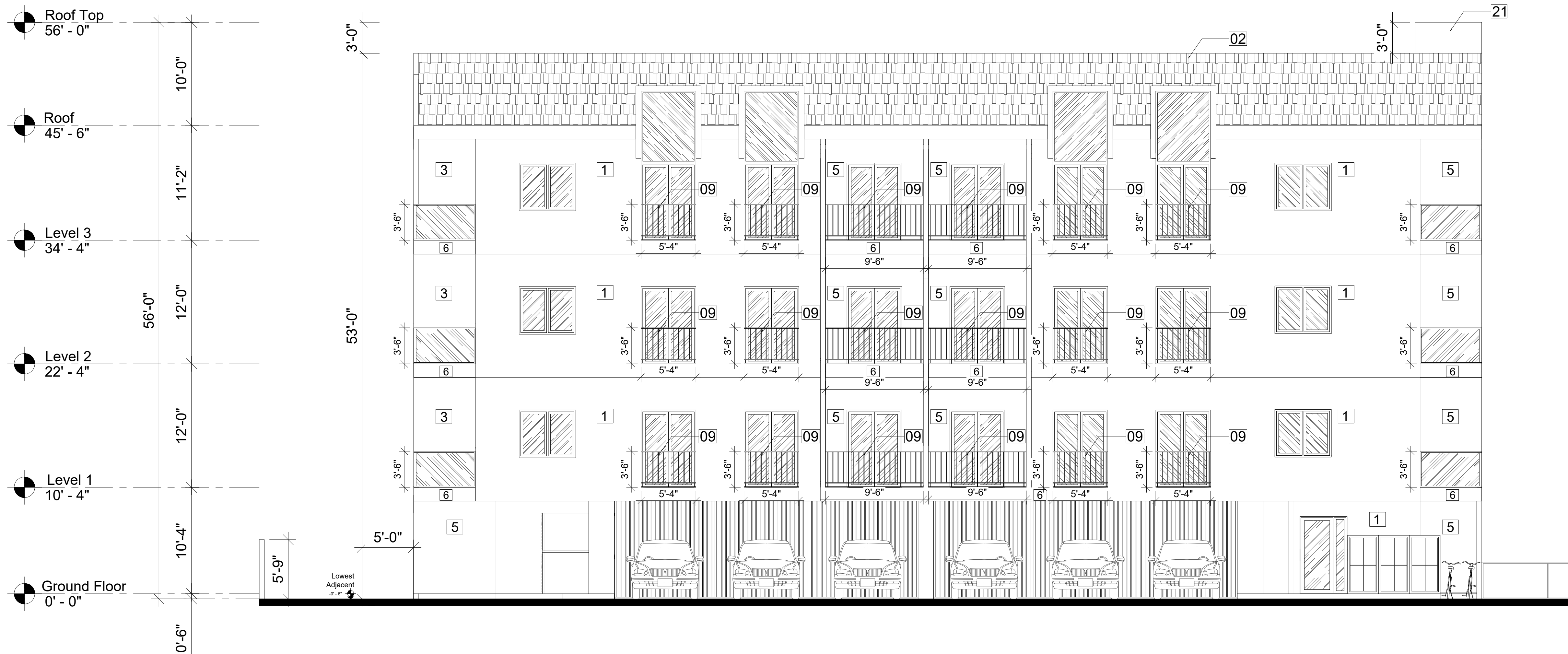
\*GREATER THAN 6"  
PLACE 3'-4' EVENLY  
APART IN A  
CIRCULAR MANNER.



**SECTION VIEW**



**PLAN VIEW**



**SOUTH ELEVATION**

**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 EXTERIOR WALL; FIN. SAND TEXTURE WITH EXTERIOR PAINT COL. CREAM
- 2 EXTERIOR PANEL; CORRUGATED METAL COL. DARK GREY
- 3 EXTERIOR WALL ; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. DARK GREY
- 4 DUAL GLAZED WINDOW
- 5 EXTERIOR WOODEN SLATS COL. LIGHT WALNUT
- 6 STEEL FIN. METAL PAINT COL. DARK GREY
- 7 CONCRETE WALL FENCE; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. CREME
- 8 TEMPERED GLASS DOOR
- 9 METAL HAND RAILING; FIN METAL PAINT COL. DARK GREY
- 10 CONCRETE ROOF; FIN. SAND TEXTURE COL. DARK GREY
- 11 STONE WALL FENCE
- 12 WOOD PANEL FENCE; COL. LIGHT WALNUT
- 13 PERFORATED DOOR
- 14 TEMPERED GLASS ENTRANCE DOOR
- 15 LOT NUMBER; ALUMINIUM PANEL COL. DARK GREY
- 16 STANDING SEAM METAL ROOF
- 17 MAILBOX

**TERRA LUMEN**

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Starr Chen  
Date: 11/2/2022  
Application No. : 22010-10000-02861

REVISION

NO.	DATE	SUBJECT

**IROLO RESIDENCE**

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**SOUTH ELEVATION**

DRAWN BY: TP/DA/BAW DATE: 10/19/2022

CHECKED BY: TP/AH

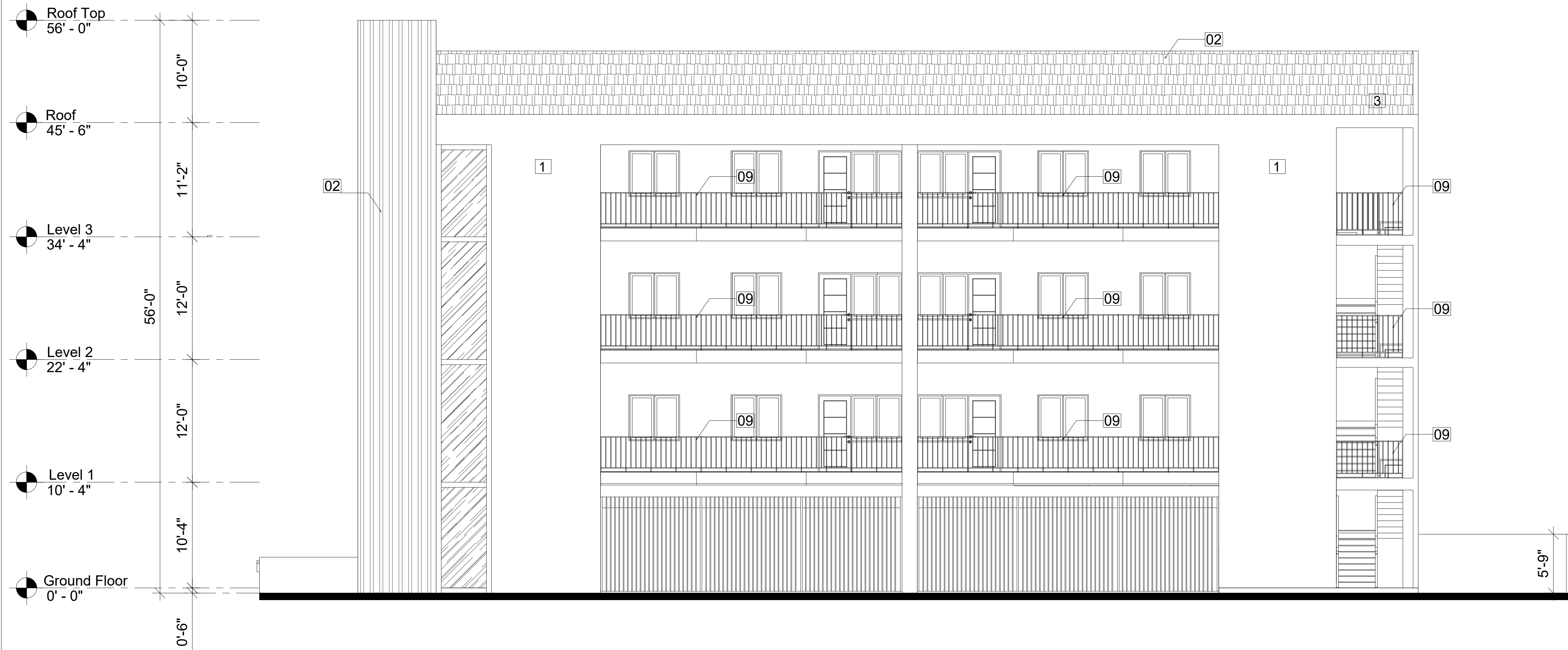
PROJECT NO:

DRAWING NO:

**A-2.01**

SOUTH ELEVATION

SCALE : 3/16" = 1'-0"



### NORTH ELEVATION

- KEYNOTES** (THESE NOTES PERTAIN TO THIS SHEET ONLY)
- 1 EXTERIOR WALL; FIN. SAND TEXTURE WITH EXTERIOR PAINT COL. CREAM
  - 2 EXTERIOR PANEL; CORRUGATED METAL COL. DARK GREY
  - 3 EXTERIOR WALL; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. DARK GREY
  - 4 DUAL GLAZED WINDOW
  - 5 EXTERIOR WOODEN SLATS COL. LIGHT WALNUT
  - 6 STEEL FIN. METAL PAINT COL. DARK GREY
  - 7 CONCRETE WALL FENCE; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. CREME
  - 8 TEMPERED GLASS DOOR
  - 9 METAL HAND RAILING; FIN METAL PAINT COL. DARK GREY
  - 10 CONCRETE ROOF; FIN. SAND TEXTURE COL. DARK GREY
  - 11 STONE WALL FENCE
  - 12 WOOD PANEL FENCE; COL. LIGHT WALNUT
  - 13 PERFORATED DOOR
  - 14 TEMPERED GLASS ENTRANCE DOOR
  - 15 LOT NUMBER; ALUMINIUM PANEL COL. DARK GREY
  - 16 STANDING SEAM METAL ROOF
  - 17 MAILBOX

**TERRA LUMEN**  
TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES

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REVISION		
NO.	DATE	SUBJECT

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1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT  
JESSICA CELIUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE  
**NORTH ELEVATION**

DRAWN BY: TP/DA/BAW      DATE: 10/10/2022  
CHECKED BY: TP/AH  
PROJECT NO.:  
DRAWING NO.:

**A-2.02**

**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 EXTERIOR WALL; FIN. SAND TEXTURE WITH EXTERIOR PAINT COL. CREAM
- 2 EXTERIOR PANEL; CORRUGATED METAL COL. DARK GREY
- 3 EXTERIOR WALL; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. DARK GREY
- 4 DUAL GLAZED WINDOW
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- 6 STEEL FIN. METAL PAINT COL. DARK GREY
- 7 CONCRETE WALL FENCE; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. CREME
- 8 TEMPERED GLASS DOOR
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- 12 WOOD PANEL FENCE; COL. LIGHT WALNUT
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- 15 LOT NUMBER; ALUMINIUM PANEL COL. DARK GREY
- 16 STANDING SEAM METAL ROOF
- 17 MAILBOX

**TERRA LUMEN**

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES



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REVISION

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CLIENT

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1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**WEST ELEVATION  
EAST ELEVATION**

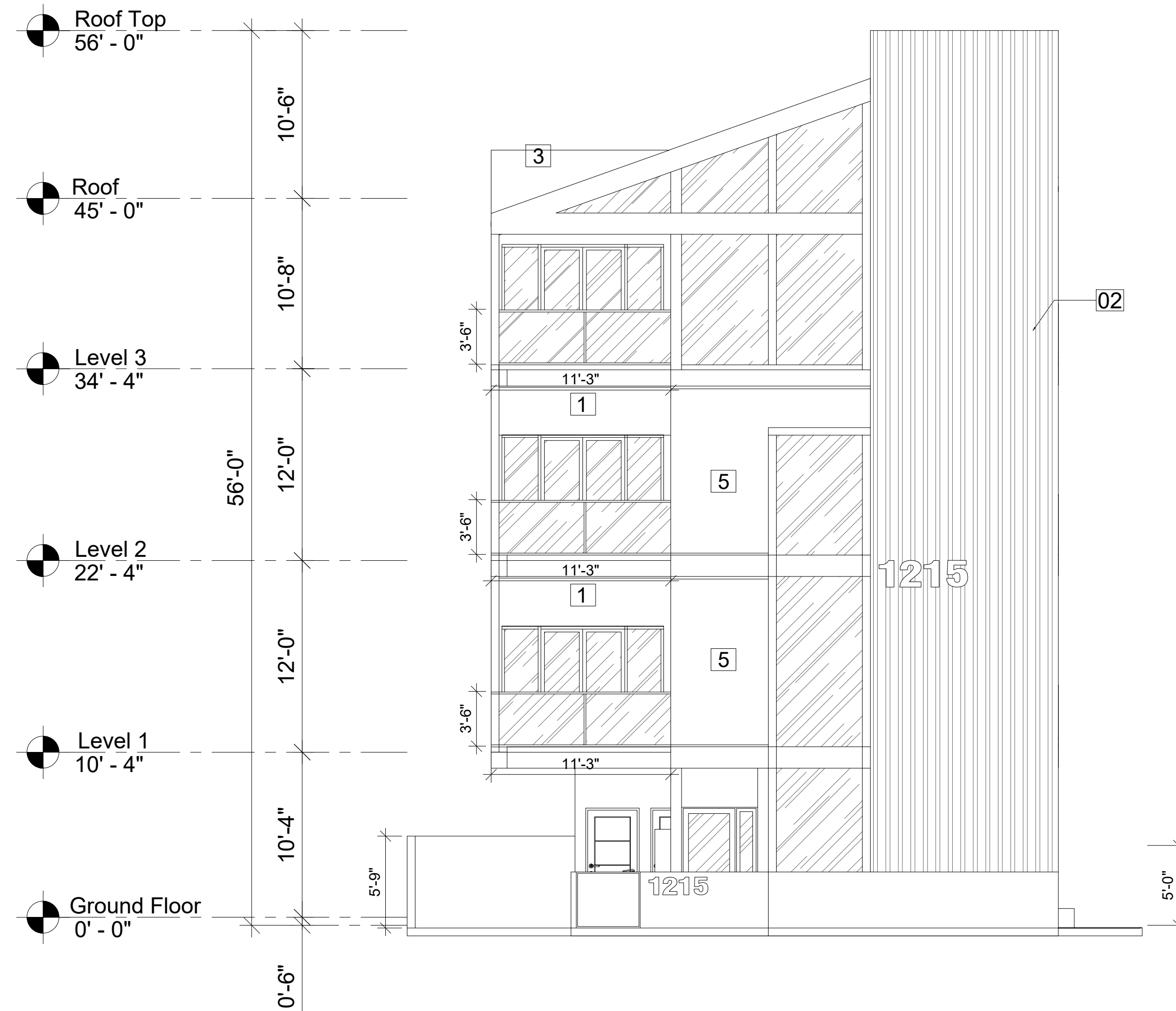
DRAWN BY: TP/DA/BAW      DATE: 10/10/2022

CHECKED BY: TP/AH

PROJECT NO.

DRAWING NO.

**A-2.03**



WEST ELEVATION

SCALE : 3/16" = 1'-0"



EAST ELEVATION

SCALE : 3/16" = 1'-0"



**SOUTH ELEVATION**

**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 EXTERIOR WALL ; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. LIGHT GREY
- 2 STANDING SEAM METAL ROOF
- 3 CONCRETE ROOF; FIN. SAND TEXTURE
- 4 DUAL GLAZED WINDOW
- 5 EXTERIOR WALL ; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. DARK GREY
- 6 STEEL DOOR ; FIN. METAL PAINT COL. DARK GREY
- 7 CONCRETE WALL FENCE; FIN. SAND TEXTURE WITH EXTERIOR WALL PAINT COL. LIGHT GREY
- 8 TEMPERED GLASS DOOR
- 9 METAL HAND RAILING; FIN. METAL PAINT COL. DARK GREY
- 10 EXTERIOR WOOD STUD WALL WITH WOOD PANEL; COL. DARK WALNUT
- 11 STONE WALL FENCE
- 12 WOOD PANEL FENCE; COL. DARK WALNUT
- 13 PERFORATED DOOR
- 14 TEMPERED GLASS ENTRANCE DOOR
- 15 LOT NUMBER; ALUMINIUM PANEL COL. LIGHT GREY
- 16 SUNSHADE ; FIN. EXTERIOR WALL PAINT COL. LIGHT GREY
- 17 ROSTER ; FIN. EXTERIOR WALL PAINT COL. LIGHT GREY
- 18 MAILBOX
- 19 STEEL DOOR ; FIN. METAL PAINT COL. LIGHT GREY
- 20 DECORATIVE ALUMINIUM SCREEN; FIN. WOOD TEXTURE COL. DARK WALNUT
- 21 STEEL STRUCTURE
- 22 EXTERIOR WALL FIN. STONE

**TERRA LUMEN**

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES

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LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**SOUTH ELEVATION**

DRAWN BY: TP/DA/BAW      DATE: 10/10/2022

CHECKED BY: TP/AH

PROJECT NO.:

DRAWING NO.:

**A-2.04**

**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

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- 2 STANDING SEAM METAL ROOF
- 3 CONCRETE ROOF; FIN. SAND TEXTURE
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- 22 EXTERIOR WALL FIN. STONE

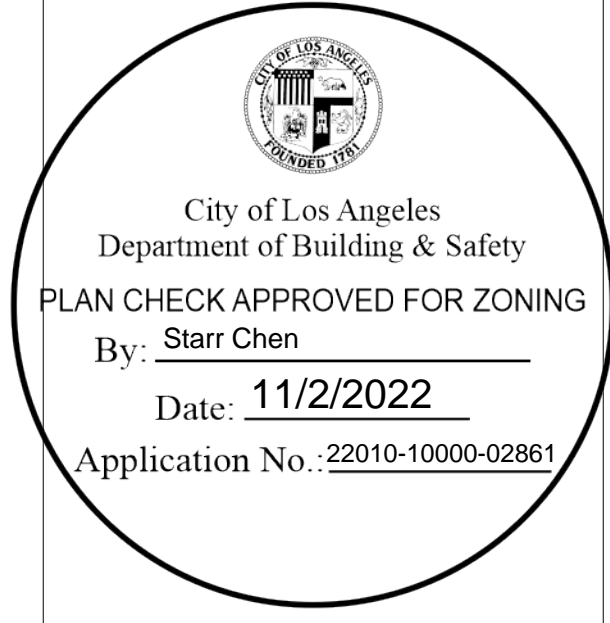


**NORTH ELEVATION**



TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES



**REVISION**

NO.	DATE	SUBJECT

**IROLO RESIDENCE**

PROJECT ADDRESS

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LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**NORTH ELEVATION**

DRAWN BY  
TP/DABAW      DATE  
10/10/2022

CHECKED BY  
TP/AH

PROJECT NO.

DRAWING NO.



WEST ELEVATION

WEST ELEVATION

NFS



EAST ELEVATION

EAST ELEVATION

NFS

**KEYNOTES**

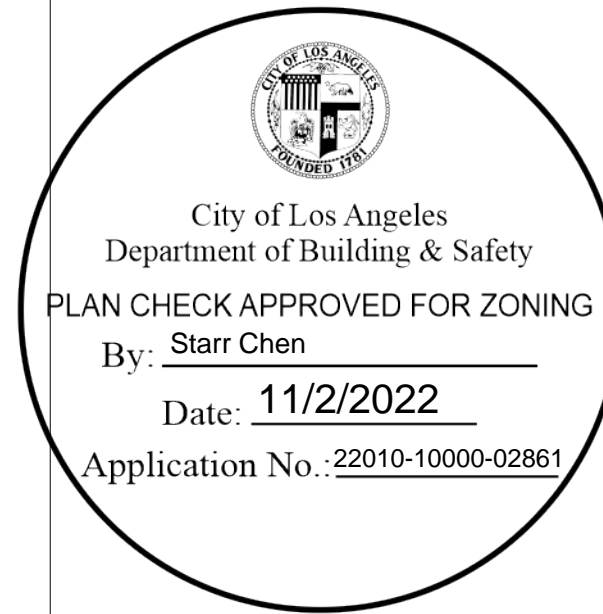
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- 17 ROSTER ; FIN. EXTERIOR WALL PAINT COL. LIGHT GREY
- 18 MAILBOX
- 19 STEEL DOOR ; FIN. METAL PAINT COL. LIGHT GREY
- 20 DECORATIVE ALUMINIUM SCREEN; FIN. WOOD TEXTURE COL. DARK WALNUT
- 21 STEEL STRUCTURE
- 22 EXTERIOR WALL FIN. STONE

**TERRA LUMEN**

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES



**REVISION**

NO. DATE SUBJECT

NO.	DATE	SUBJECT

**IROLO RESIDENCE**

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**WEST ELEVATION  
EAST ELEVATION**

DRAWN BY  
TP/DA/BAW

DATE  
10/10/2022

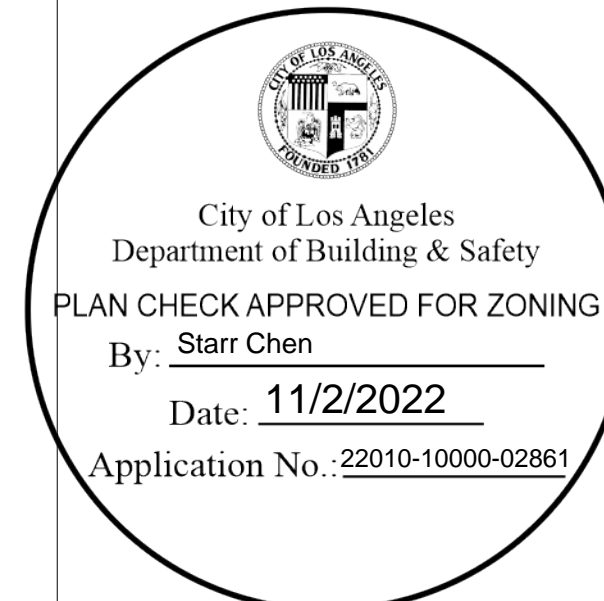
CHECKED BY  
TP/AH

PROJECT NO.

DRAWING NO.

**A-2.06**

NOTES



KEYNOTES

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 CONCRETE SLAB AND FOUNDATION
- 2 WINDOW
- 3 CONCRETE WALL FENCE
- 4 CONCRETE ROOF
- 5 GYPSUM CEILING
- 6 DOOR
- 7 WALL ; FIN. WALL PAINT
- 8 BEAM
- 9 SLOPING ROOF
- 10 RETAINING WALL
- 11 SUNSHADE
- 12 STEEL STRUCTURE
- 13 HANDRAILING
- 14 WOOD FENCE
- 15 PERFORATED SLIDING GATE
- 16 STONE WALL FENCE
- 17 ROSTER
- 18 TRASH CHUTE INTAKE STEEL DOOR
- 19 LOT NUMBER PLATE
- 20 PLANTER BOX
- 21 DECORATIVE ALUMINIUM SCREEN

REVISION

NO.	DATE	SUBJECT

IROLO RESIDENCE

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

SECTION A

DRAWN BY  
TP/DA/BAW

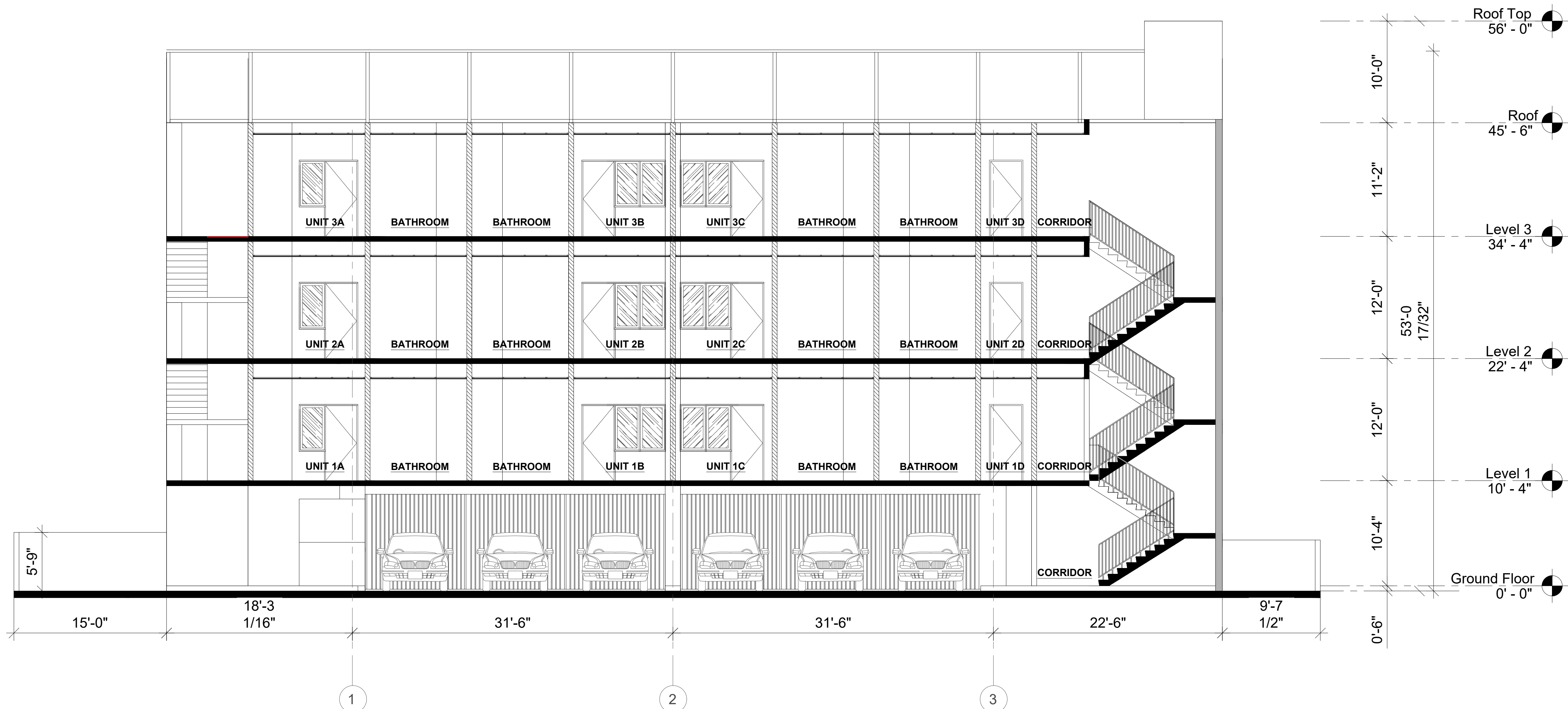
DATE  
10/10/2022

CHECKED BY  
TP/AH

PROJECT NO.

DRAWING NO.

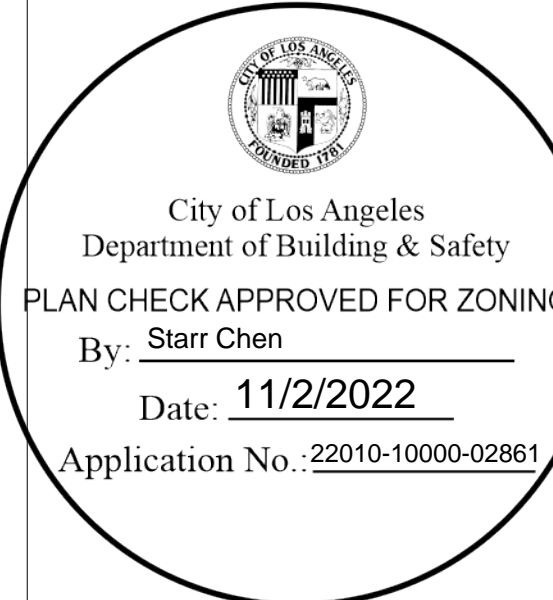
A-3.01



SECTION A-A'



NOTES



REVISION

NO.	DATE	SUBJECT

**IROLO RESIDENCE**

PROJECT ADDRESS  
 1215 S IROLO STREET,  
 LOS ANGELES CA 90006

CLIENT  
 JESSICA CELIOUS  
 1215 S IROLO STREET,  
 LOS ANGELES CA 90006

DRAWING TITLE  
**SECTION B**

DRAWN BY  
 TP/DA/BAW

CHECKED BY  
 TP/AH

PROJECT NO.

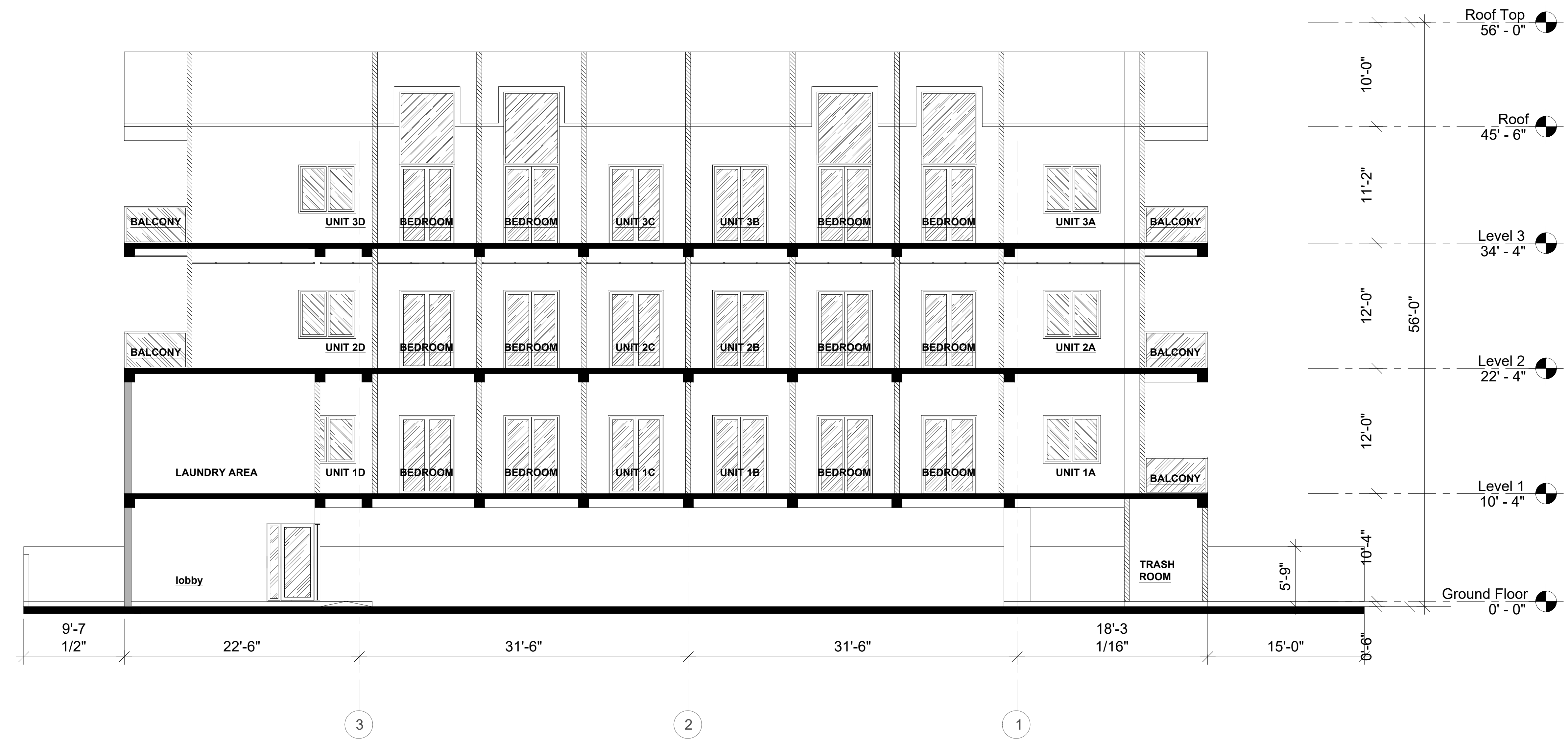
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**A-3.02**

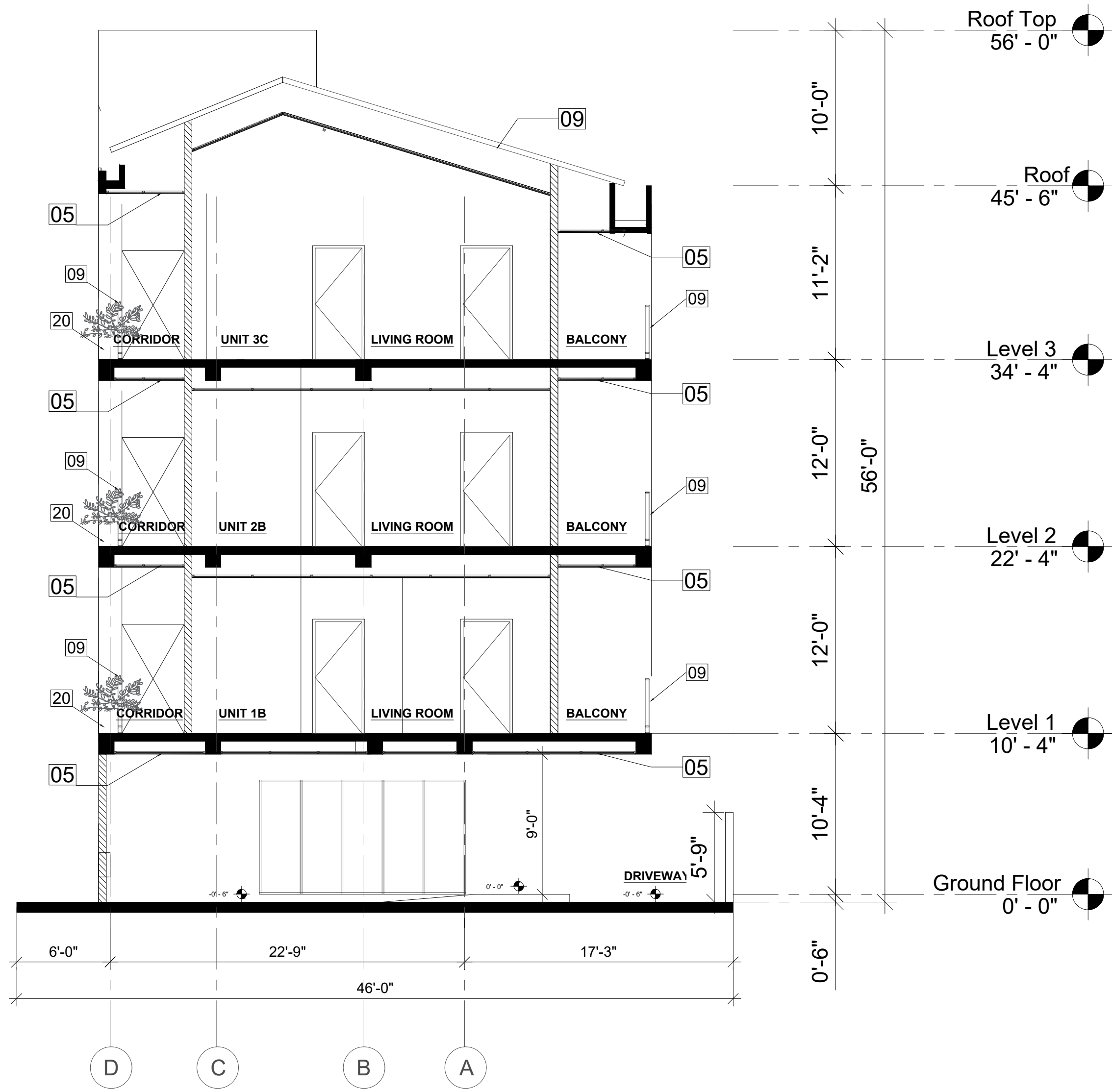
**KEYNOTES**

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 CONCRETE SLAB AND FOUNDATION
- 2 WINDOW
- 3 CONCRETE WALL FENCE
- 4 CONCRETE ROOF
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- 17 ROSTER
- 18 TRASH CHUTE INTAKE STEEL DOOR
- 19 LOT NUMBER PLATE
- 20 PLANTER BOX
- 21 DECORATIVE ALUMINIUM SCREEN



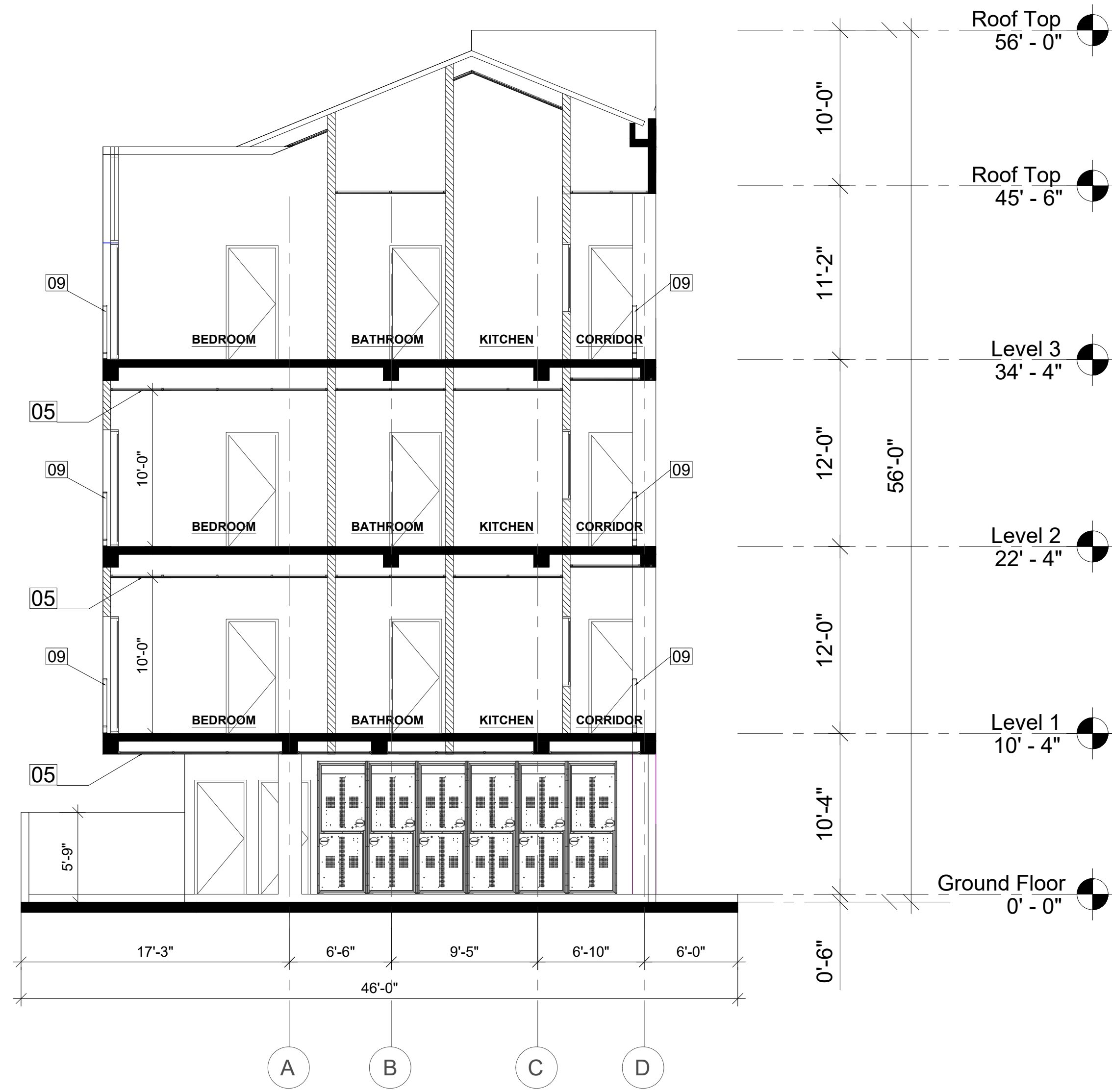
**SECTION B-B'**



### SECTION C-C'

SECTION C

SCALE : 3/16" = 1'-0"



### SECTION D-D'

SECTION D

SCALE : 3/16" = 1'-0"

### KEYNOTES

(THESE NOTES PERTAIN TO THIS SHEET ONLY)

- 1 CONCRETE SLAB AND FOUNDATION
- 2 WINDOW
- 3 CONCRETE WALL FENCE
- 4 CONCRETE ROOF
- 5 GYPSUM CEILING
- 6 DOOR
- 7 WALL ; FIN. WALL PAINT
- 8 BEAM
- 9 SLOPING ROOF
- 10 RETAINING WALL
- 11 SUNSHADE
- 12 STEEL STRUCTURE
- 13 HANDRAILING
- 14 WOOD FENCE
- 15 PERFORATED SLIDING GATE
- 16 STONE WALL FENCE
- 17 ROSTER
- 18 TRASH CHUTE INTAKE STEEL DOOR
- 19 LOT NUMBER PLATE
- 20 PLANTER BOX
- 21 DECORATIVE ALUMINIUM SCREEN

### TERRA LUMEN

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

### NOTES



City of Los Angeles  
Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
By: Starr Chen  
Date: 11/2/2022  
Application No. : 22010-10000-02861

### REVISION

NO.	DATE	SUBJECT

### IROLO RESIDENCE

### PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

### CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

### DRAWING TITLE

**SECTION C  
SECTION D**

DRAWN BY: TP/DA/BAW DATE: 10/10/2022

CHECKED BY: TP/AH

PROJECT NO.

DRAWING NO.

## A-3.03



NORTH WEST VIEW



SOUTH WEST VIEW



NORTH EAST VIEWS

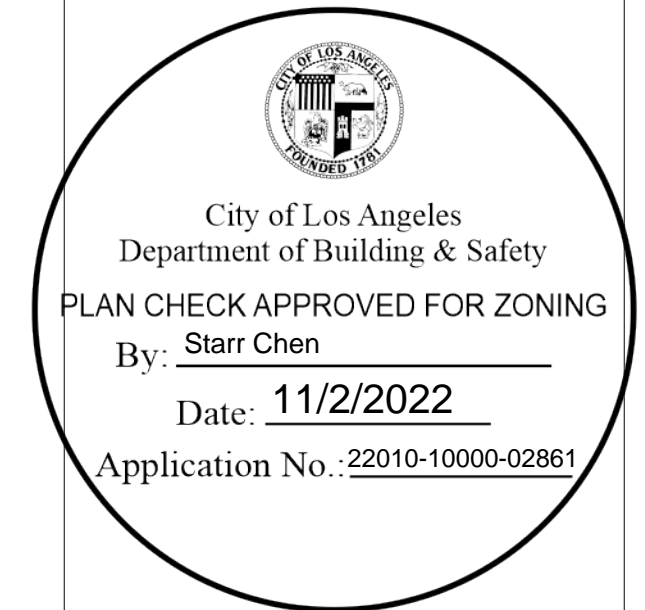


SOUTH EAST VIEWS

### TERRA LUMEN

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

#### NOTES



#### REVISION

NO. DATE SUBJECT

### IROLO RESIDENCE

#### PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

#### CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

#### DRAWING TITLE

### VIEWS

DRAWN BY TP/DA/BAW DATE 10/10/2022

CHECKED BY TP/AH

PROJECT NO.

DRAWING NO.

**A-4.01**



NORTH WEST VIEW



SOUTH WEST VIEW



NORTH EAST VIEWS



SOUTH EAST VIEWS

**TERRA LUMEN**

TERRA LUMEN COASTAL INC.  
5209 WILSHIRE BLVD.  
LOS ANGELES, CA 90036

NOTES



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: Starr Chen  
Date: 11/2/2022  
Application No.: 22010-10000-02861

REVISION

NO. DATE SUBJECT

**IROLO RESIDENCE**

PROJECT ADDRESS

1215 S IROLO STREET,  
LOS ANGELES CA 90006

CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**VIEWS**

DRAWN BY: TP/DABAW DATE: 10/10/2022

CHECKED BY: TP/AH

PROJECT NO:

DRAWING NO:

**A-4.02**

NOTES



**F.A.R ALLOWED**

**F.A.R STANDARD REQUIREMENT (3:1)**  
3,621 SF X 3 = 10,863 SF (max)

**F.A.R PROPOSED**

**GROUND LEVEL**

COMMON AREA/LOBBY	261.7 SF
OPEN SPACE	420 SF
TRASH AREA	34.9 SF
RECYCLING AREA	34.9 SF
TERRACE AREA	109.7 SF

**2ND FLOOR**

CORRIDOR, LAUNDRY	561 SF
RESIDENTIAL	2,368.2 SF
BALCONY	265.3 SF

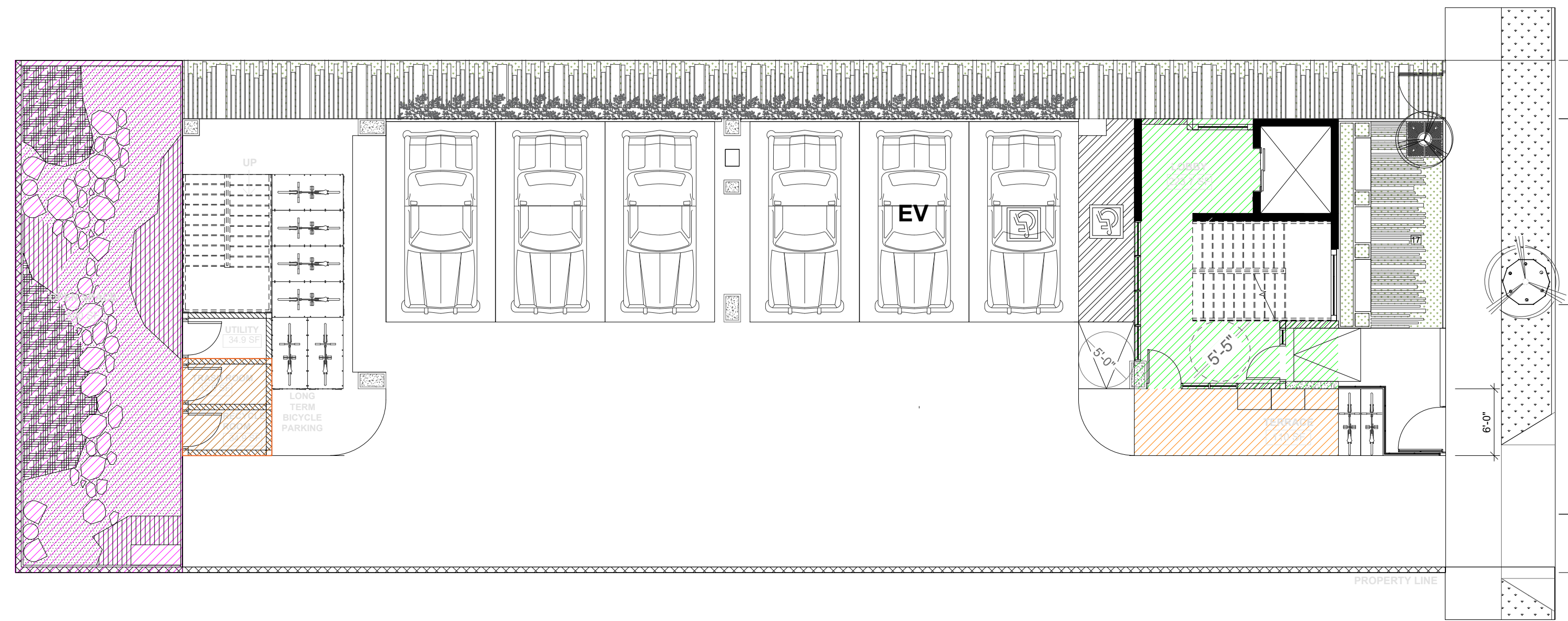
**3RD TO 4TH FLOOR**

CORRIDOR, LOBBY	946.8 SF
RESIDENTIAL	4,927.2 SF
BALCONY	530.6 SF

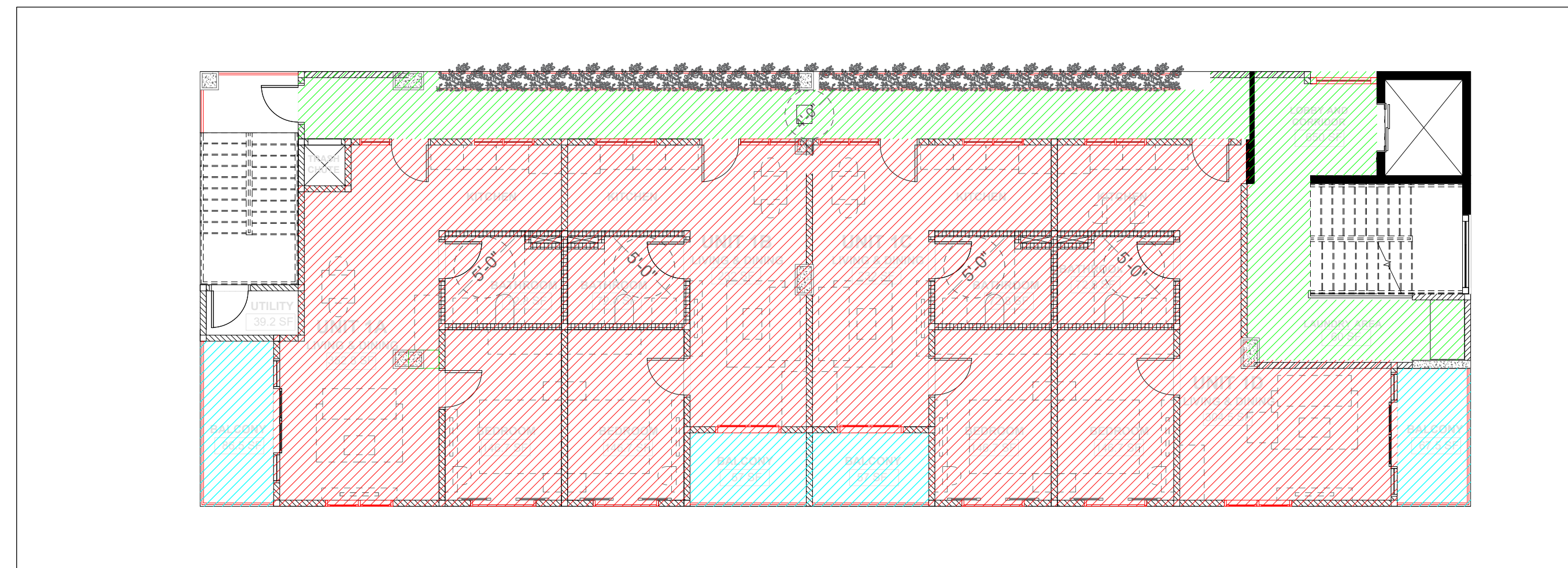
**TOTAL 10,726.1 SF**

**LEGEND**

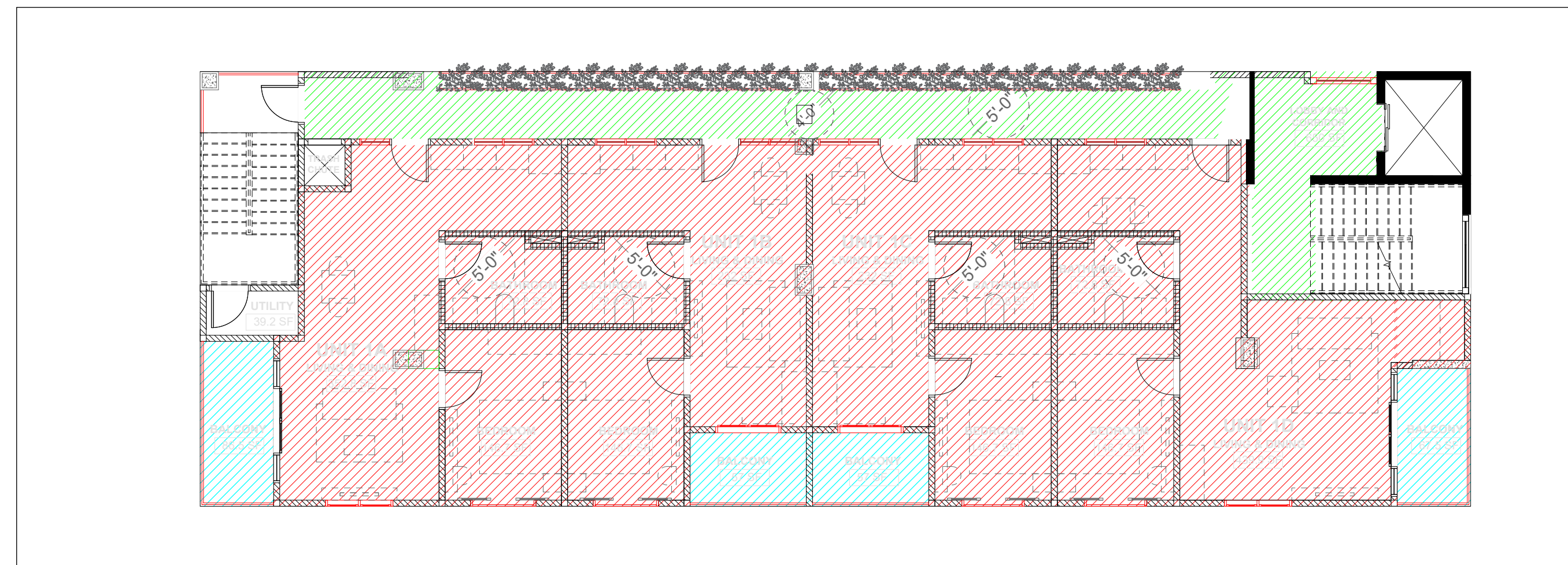
- LOBBY/Common Area/Corridor
- RESIDENTIAL AREA
- PRIVATE BALCONY
- OPEN SPACE
- TRASH/RECYCLE AREA
- UTILITY
- TERRACE



**GROUND FLOOR PLAN**



**2ND FLOOR PLAN**



**3RD TO 4TH FLOOR PLAN**

**IROLO RESIDENCE**

PROJECT ADDRESS

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CLIENT

JESSICA CELIOUS  
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LOS ANGELES CA 90006

DRAWING TITLE

**F.A.R DIAGRAM**

DRAWN BY

TP/DA/BAW

DATE

10/19/2022

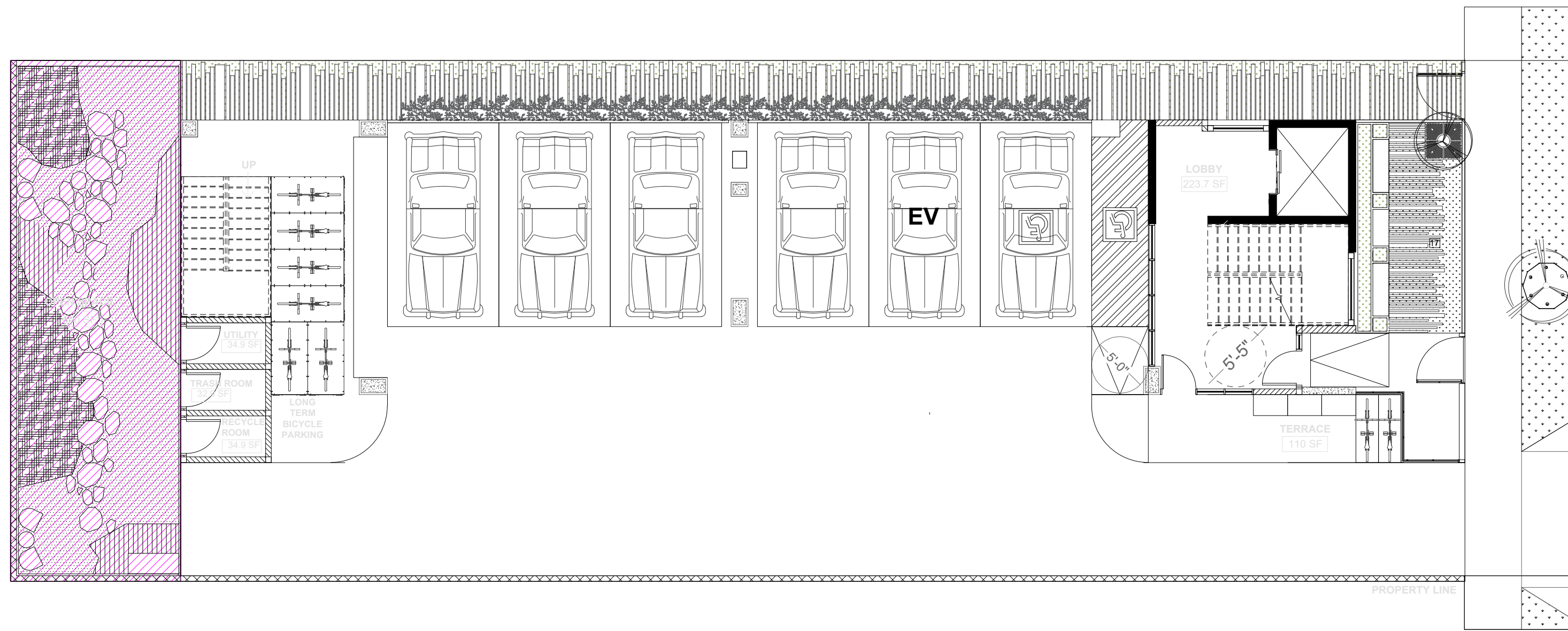
CHECKED BY

TP/AH

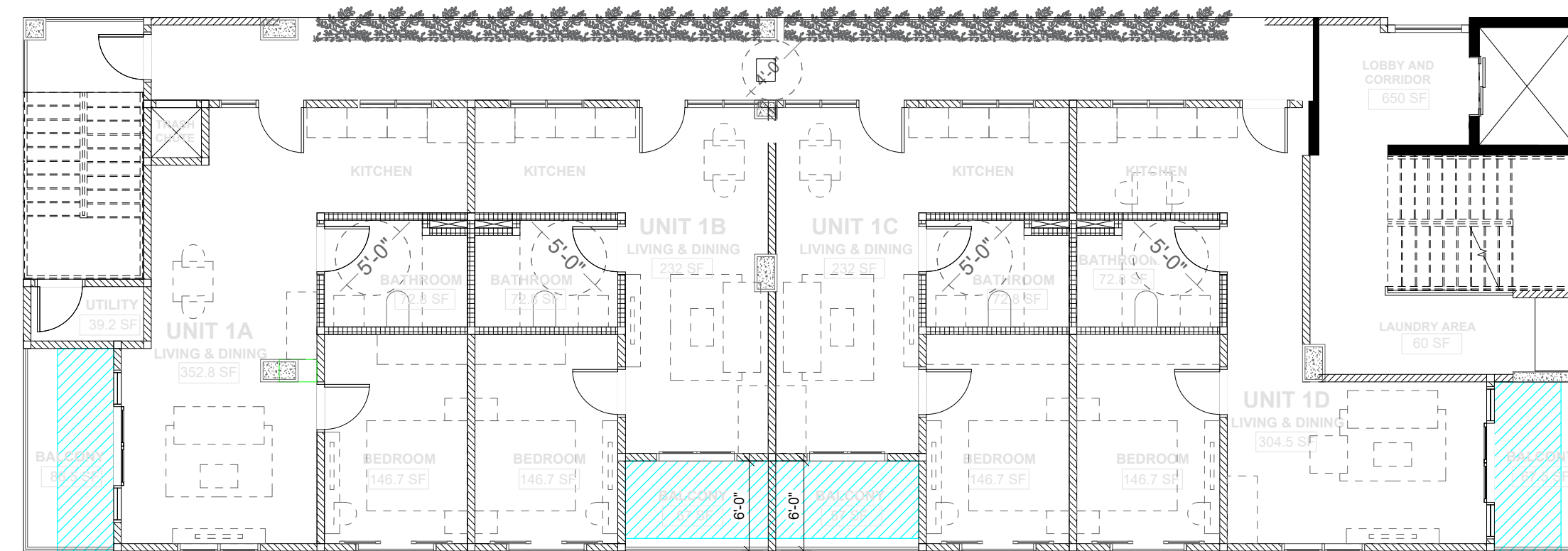
PROJECT NO.

DRAWING NO.

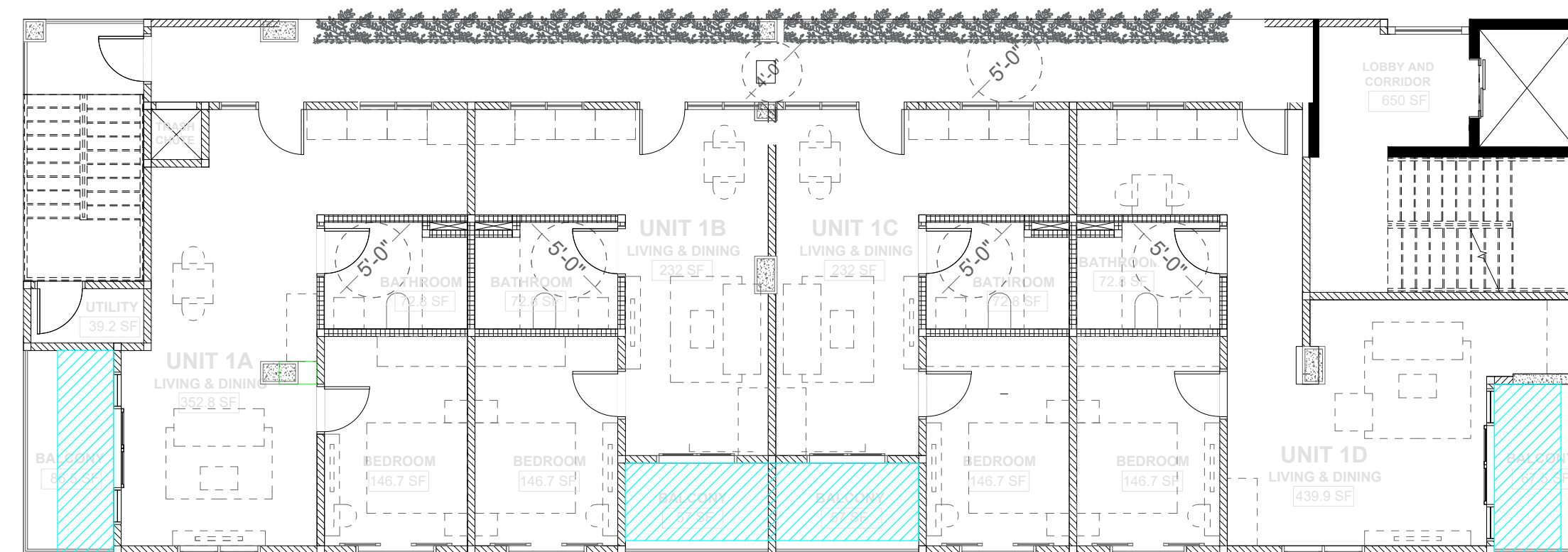
NOTES



GROUND FLOOR PLAN



2ND FLOOR PLAN



3RD TO 4TH FLOOR PLAN

**OPEN SPACE REQ'D**

100 SF PER UNIT (12) 1-BEDROOM UNITS  
**TOTAL REQUIRED : 1,200 SF**

**OPEN SPACE PROVIDED**

**GROUND LEVEL**

OPEN SPACE 690 SF

**2ND FLOOR**

BALCONY 200 SF

**3RD TO 4TH FLOOR**

BALCONY 400 SF

**TOTAL** 1,290 SF

PRIVATE BALCONY

OPEN SPACE

Roof decks in developments built at an R3 or an RAS3 density, regardless of the underlying zone, may be used as common open space, excluding that portion of the roof within ten feet from the parapet wall. (Amended by Ord. No. 174,999, Eff. 1/15/03.)

Have a minimum area of 400 sq. ft. with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area,

REVISION

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CLIENT

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

DRAWING TITLE

**OPEN SPACE DIAGRAM**

DRAWN BY

TP/DA/BAW

CHECKED BY

TP/AH

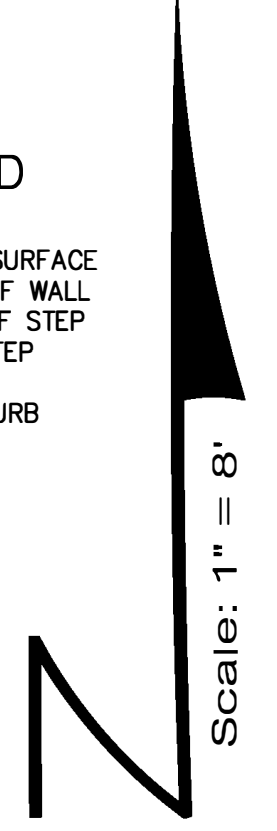
PROJECT NO.

DRAWING NO.

# Architectural Survey

**LEGEND**

- EV = EAVE
- FS = FINISHED SURFACE
- BW = BOTTOM OF WALL
- BS = BOTTOM OF STEP
- TS = TOP OF STEP
- FL = FLOWLINE
- TC = TOP OF CURB



**AVERAGE SETBACK DIMENSIONS  
(of Lots 3,4 and 5)**

East Property Line (front) = 9.7'  
 North Property Line (side) = 12.6'  
 South Property Line (side) = 2.7'

Legal Description: Lot 4 in Block 43 of The Electric Railroad Homestead Association per map recorded in Book 14, pages 27-28 of Miscellaneous Records.

Site Address: 1215 Irolo Street, Los Angeles

Basis of Bearings: The Bearing of N 0°00'00" E along the Easterly Line of Lot 4 in Block 43 of The Electric Railroad Homestead Association per map recorded in Book 14, pages 27-28 of Miscellaneous Records.

Benchmark: The elevation of 212.237 was found on cut spike per City of Los Angeles Benchmark 12-11350. (NAVD 1988)

APNs: 5080-035-004

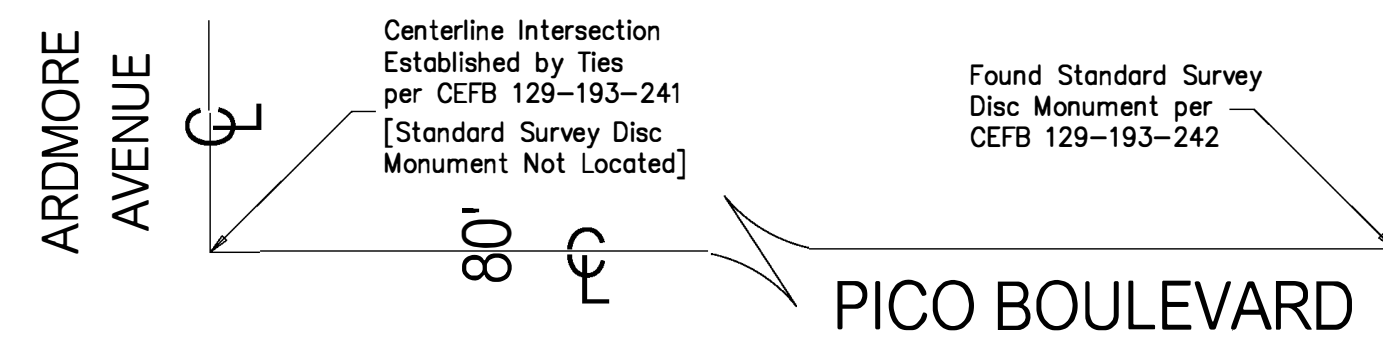
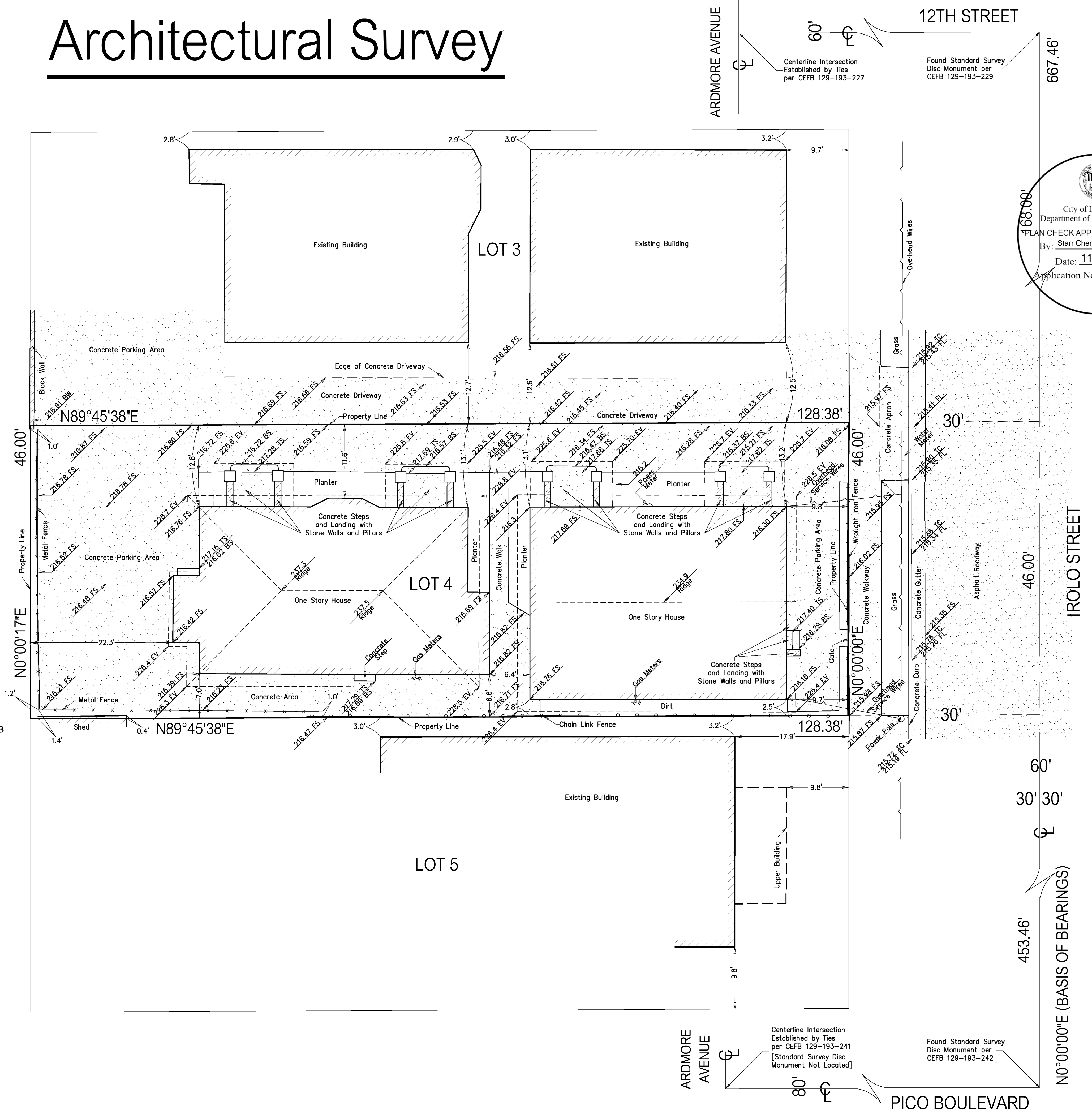
Date of Survey: April 14, 2019

Survey For: Jessica Celious  
 1215 Irolo Street  
 Los Angeles, CA 90006

Survey By: Specialty Land Surveys  
 27515 Pamplico Drive  
 Valencia, CA 91354  
 Scott J. Haggai, LS 9290



April 14, 2019



60'  
 30'  
 30'  
 453.46'  
 N0°00'00"E (BASIS OF BEARINGS)

46.00'  
 IROLO STREET

667.46'  
 12TH STREET

ARDMORE AVENUE

ARDMORE AVENUE

PICO BOULEVARD

NOTES



NO.	NUMBER	FRONT SETBACK
1.	1203	16'-9"
2.	1207	18'-10"
3.	1209	7'-10"
4.	1219	7'-3"
5.	1225	17'-4"
6.	1227	14'-2"
7.	1239	5'-5"
8.	1241	18'-5"
9.	1253	0
10.	2835	0
11.	2837	0
<b>TOTAL</b>		<b>106'-5"</b>
<b>AVERAGE</b>		<b>9'-8"</b>

**REVISION**

NO. DATE SUBJECT

**IROLO RESIDENCE**

**PROJECT ADDRESS**

1215 S IROLO STREET,  
LOS ANGELES CA 90006

**CLIENT**

JESSICA CELIOUS  
1215 S IROLO STREET,  
LOS ANGELES CA 90006

**DRAWING TITLE**

**SETBACK DIAGRAM**

DRAWN BY: TP/DA DATE: 04/12/2022

CHECKED BY: TP/AH

PROJECT NO:

DRAWING NO:

**A-5.04**

